

ARTICLE II

Zoning Districts and Allowable Land Uses

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CHAPTER 18.06 - ESTABLISHMENT OF ZONING DISTRICTS, ADOPTION OF ZONING MAP

Sections:

- 18.06.010 - Purpose of Chapter
- 18.06.020 - Zoning Districts Established
- 18.06.030 - Zoning Maps Adopted
- 18.06.040 - Zoning District Regulations

18.06.010 - Purpose of Chapter

This Chapter establishes the zoning districts applied to property within the Town, determines how the zoning districts are applied on the Zoning Map, and provides general permit requirements for development and new land uses.

18.06.020 - Zoning Districts Established

Truckee shall be divided into zoning districts which implement the General Plan. The zoning districts shown in Table 2-1 are hereby established, and shall be shown on the official Zoning Map (Section 18.06.030).

18.06.030 - Zoning Maps Adopted

The Council hereby adopts the Town of Truckee Zoning Map (hereafter referred to as the “Zoning Map”), which is on file with the Department.

- A. Inclusion by reference.** The Zoning Map, together with all legends, symbols, notations, references, zoning district boundaries and other information on the maps, has been adopted by the Council in compliance with Government Code Sections 65800 et seq., and is hereby incorporated into this Development Code by reference as though it were fully included here.
- B. Zoning district boundaries.** The boundaries of the zoning districts established by Section 18.06.020 (Zoning Districts Established) shall be shown upon the Zoning Map.
- C. Relationship to General Plan.** The Zoning Map shall implement the General Plan, specifically including the Land Use Diagram.
- D. Map amendments.** Amendments to the Zoning Map shall follow the process established in Chapter 18.160 (General Plan, Zoning Map and Development Code Amendments).
- E. Zoning Map interpretation.** The Zoning Map shall be interpreted in compliance with Section 18.03.020.D (Zoning Map Boundaries).

**TABLE 2-1
ZONING DISTRICTS**

Zoning Map Symbol	Zoning District Name	General Plan or Downtown Specific Plan (DSP) Land Use Classification Implemented by Zoning District
Residential Zoning Districts		
RR	Rural Residential	Residential Residential Cluster - 5 acres and 10 acres Open Space Recreation DSP - Single Family Residential
RS	Single-Family Residential	Residential Residential Cluster - 5 acres and 10 acres Open Space Recreation Tahoe Donner PC Public (Hospital/Office)
RM	Multi-Family Residential	Residential High Density Residential Tahoe Donner PC
DRS	Downtown Single-Family Residential	DSP – Single-Family Residential
DRM	Downtown Medium Density Residential	DSP – Single-Family Residential
DRH	Downtown High Density Residential	DSP – Multi-Family Residential
Commercial and Manufacturing Zoning Districts		
CN	Neighborhood Commercial	Residential Residential High Density Commercial Tahoe Donner PC Public (Hospital/Office)
CG	General Commercial	Commercial Industrial Public (Hospital/Office) DSP - Commercial
CH	Highway Commercial	Commercial
CS	Service Commercial	Industrial Commercial
M	Manufacturing/Industrial	Industrial
DMU	Downtown Mixed Use	DSP - Mixed Use
DC	Downtown Commercial	DSP - Commercial
DVL	Downtown Visitor Lodging	DSP - Visitor Lodging
DM	Downtown Manufacturing/Industrial	DSP - Industrial

**TABLE 2-1
ZONING DISTRICTS (Continued)**

Zoning Map Symbol	Zoning District Name	General Plan or Downtown Specific Plan (DSP) Land Use Classification Implemented by Zoning District
Special Purpose Zoning Districts		
RC	Resource Conservation	Resource Conservation/Open Space National Forest
OS	Open Space	All
REC	Recreation	Open Space Recreation Residential Tahoe Donner PC Resource Conservation/Open Space
PF	Public Facilities	Public Public (Hospital/Office) Tahoe Donner PC DSP - Public
PC ¹	Planned Community	Planned Community 1, 2 and 3 Special Study Area
DMP ¹	Downtown Master Plan	DSP - Master Plan
DRR	Downtown Railroad	DSP - All
Overlay Zoning Districts		
-AO	Airport Operations	All
-HP	Historic Preservation	All
-RP	River Protection	All
-SA	Snow Avalanche	All
-CR	Commercial Row	DMU

18.06.040 - Zoning District Regulations

- A. Purpose.** Chapters 18.08 through 18.20 determine which land uses are allowed in each zoning district established by Section 18.06.020 (Zoning Districts Established), what land use permit is required to establish each use, and the basic development standards that apply to allowed land uses in each zoning district.
- B. Determination of allowable land uses and permit requirements.** The uses of land allowed by this Development Code in each zoning district are identified in Chapters 18.08, 18.12 and 18.16, together with the type of land use permit required for each use.
- 1. Permit requirements.** Tables 2-2, 2-3, 2-6, 2-7 and 2-9 provide for land uses that are subject to all applicable provisions of this Development Code, and:
- a. Permitted subject to first obtaining:
 - (1) A Zoning Clearance (Chapter 18.72) for projects involving:
 - (a) For non-residential projects, a change in land use, new structures or additions to existing structures with a total gross floor area of less than 7,500 square feet (less than 5,000 square feet in Downtown Residential and Downtown Commercial and Manufacturing zoning districts); or
 - (b) For multi-family residential projects, a change in land use, new structures or additions to existing structures with 10 or less residential units; and/or
 - (c) For all projects, a change in land use, new structures, additions to existing structures, new improvements or additions to existing improvements with site disturbance (grading, impervious surfaces and/or the removal of natural vegetation) of less than 26,000 square feet.
 - (2) A Development Permit (Chapter 18.74) for projects, including incremental or phased projects per Section 18.74.020.B, involving:
 - (a) For non-residential projects, a change in land use, new structures or additions to existing structures with a gross floor area of 7,500 square feet or more (5,000 square feet or more in Downtown Residential and Downtown Commercial and Manufacturing zoning districts); or
 - (b) For multi-family residential projects, a change in land use, new structures or additions to existing structures with eleven or more residential units; and/or
 - (c) For all projects, a change in land use, new structures, additions to existing structures, new improvements or additions to existing improvements with site disturbance (grading, impervious surfaces and/or the removal of natural vegetation) of 26,000 square feet or more.

These are shown as "P" uses in the tables;

(3) A Minor Use Permit (Chapter 18.76) and a Zoning Clearance (Chapter 18.72) are required for projects involving:

- (a) A single-family dwelling, accessory dwelling unit, residential accessory structures and improvements, or additions to existing structures and improvements that result in a total gross floor area of more than 7,500 square feet on the project site (more than 5,000 square feet in Downtown Residential and Downtown Commercial and Manufacturing zoning districts); or
 - (b) Single-family residential parcels with new structure(s), additions to existing structures, new improvements or additions to existing improvements that result in site disturbance (grading, impervious surfaces and/or the removal of natural vegetation) of 26,000 square feet or more; or
- b. Allowed subject to the approval of a Minor Use Permit (Chapter 18.76) and shown as "MUP" uses in the tables;
 - c. Allowed subject to the approval of a Use Permit (Chapter 18.76) and shown as "UP" uses in the tables.

All uses shall also obtain Building and/or Grading Permits where required by the Municipal Code.

- 2. **Uses not listed.** Land uses that are not listed in the tables or are not shown in a particular zoning district are not allowed, except as otherwise provided by Section 18.03.020.E (Rules of Interpretation – Allowable Uses of Land), or Section 18.02.030 (Exemptions from Land Use Permit Requirements).

C. **Standards for parcels with multiple zoning districts.** The following standards apply to the proposed development, use or subdivision of parcels that are or may be designated with more than one zoning district:

- 1. **Existing parcel in multiple zoning districts.** Where an existing parcel is zoned in two or more zoning districts, each portion of the parcel in a separate district shall be developed/used in compliance with the requirements of the applicable district.
- 2. **Parcels proposed for lot line adjustment, merger and subdivision.** Where a Lot Line Adjustment or Tentative Map application proposes the adjustment of lot lines, the merger of two or more parcels, or subdivision of a parcel so that a single parcel would be covered by two or more zoning districts, the application for adjustment or map approval shall be accompanied by an application for rezoning the lot into a single zoning district, in compliance with Chapter 18.160 (General Plan, Zoning Map and Development Code Amendments). The review authority may waive this requirement for a rezoning application where the review authority finds that the site is appropriately designated in

two zoning districts or may impose conditions requiring the rezoning of the lot into a single zoning district.

- D. Conflicts between provisions.** Rules for resolving conflicts between different Development Code provisions may be found in 18.03.020.G (Rules of Interpretation – Conflicting Requirements).

CHAPTER 18.08 – RESIDENTIAL ZONING DISTRICTS

Sections:

- 18.08.010 - Purpose of Chapter
- 18.08.020 - Purposes of Residential Zoning Districts
- 18.08.030 - Residential Zoning District Land Uses and Permit Requirements
- 18.08.040 - Residential Zoning District General Development Standards
- 18.08.050 - Minimum Lot Area and Maximum Density
- 18.08.060 - Residential Zoning District Performance Standards

18.08.010 – Purpose of Chapter

This Chapter provides regulations applicable to development and new land uses in the residential zoning districts established by Section 18.06.020 (Zoning Districts Established).

18.08.020 – Purposes of Residential Zoning Districts

The purposes of the individual residential zoning districts and the manner in which they are applied are as follows:

- A. RR (Rural Residential) District.** The RR zoning district identifies areas intended for rural living, including the keeping of animals, with supporting corrals and barns. Parcels in the RR zoning district are appropriate for clustered infill development away from environmentally sensitive areas, and to preserve open space. The density of development for this zoning district generally includes properties with a minimum area of five acres for each dwelling unit. The RR zoning district is consistent with the RC-10, RC-5, RES and OSR classifications of the General Plan.

The designation of areas in the RR zoning district may also include:

1. Establishing separate RR zoning districts with specific density requirements. These requirements shall be indicated on the Zoning Map by a suffix to the RR Zoning Map symbol which denotes the maximum allowable number of dwelling units per acre. For example, RR-0.1 means one dwelling unit per 10 acres and RR-0.2 means one unit per five acres.
 2. Establishing separate RR zoning districts where further subdivision of existing parcels shall be prohibited because the maximum density allowed by the General Plan has been achieved through previous subdivision. This requirement shall be indicated on the Zoning Map by an “X” suffix to the Zoning Map symbol. Existing parcels located within an area designated in the RS-X district on the Zoning Map shall not be further subdivided.
- B. RS (Single Family Residential) District.** The RS zoning district applies to parcels with existing residential development and areas appropriate for new clustered development. Allowable densities range from 0.5 to 4.0 dwelling units per acre. The RS zoning district is consistent with the Residential (RES), Residential Cluster (RC), Open Space Recreation

(OSR), Public (Hospital/Office) and Tahoe Donner PC land use classifications of the General Plan.

The designation of areas in the RS zoning district may also include:

1. Establishing separate RS zoning districts with specific density requirements. These requirements shall be indicated on the Zoning Map by a suffix to the RS Zoning Map symbol which denotes the maximum allowable number of dwelling units per acre. For example, RS-1 means one dwelling unit per acre and RS-4 means four units per acre.
2. Establishing separate RS zoning districts where further subdivision of existing parcels shall be prohibited because the maximum density allowed by the General Plan has been achieved through previous subdivision. This requirement shall be indicated on the Zoning Map by an "X" suffix to the Zoning Map symbol. Existing parcels located within an area designated in the RS-X district on the Zoning Map shall not be further subdivided.

- C. RM (Residential Multi-Family) District.** The RM zoning district is applied to parcels appropriate for multi-family residential uses. Appropriate densities range from four to 18 housing units per acre. The RM zoning district is consistent with the Residential (RES), High Density Residential (RH) and Tahoe Donner PC land use classifications of the General Plan.

The designation of an area in the RM zoning district may include establishing separate RM zoning districts with specific density requirements. These requirements shall be indicated on the Zoning Map by a suffix to the RM Zoning Map symbol which denotes the maximum allowable number of dwelling units per acre. For example, RM-8 means eight dwelling units per acre and RM-14 means 14 units per acre. RM-18 means 18 dwelling units per acre.

- D. DRS (Downtown Single Family Residential) District.** The DRS zoning district applies to areas in the Downtown Study Area with existing residential development or are appropriate for new single family infill and clustered development. Allowable densities range from one to five units per acre. The DRS zoning district is consistent with the single-family residential land use classification of the Downtown Specific Plan.

Separate DRS zoning districts may be established with specific density requirements. These requirements shall be expressed as a suffix to the DRS Zoning Map symbol which denotes the maximum allowable number of dwelling units per acre. For example, DRS-10 means 10 dwelling units per acre and DRS-4 means four dwelling units per acre.

- E. DRM (Downtown Medium Density Residential) District.** The DRM zoning district is applied to parcels in the Downtown Study Area with existing residential development and areas appropriate for new medium density infill and clustered development in the form of single family and multi-family dwellings. The maximum allowable density is 14 dwelling units per acre. The DRM zoning district is consistent with the single-family residential land use classification of the Downtown Specific Plan.

Separate DRM zoning districts may be established with specific density requirements. These requirements shall be expressed as a suffix to the DRM Zoning Map symbol which denotes the maximum allowable number of dwelling units per acre. For example, DRM-10 means 10 dwelling units per acre and DRM-14 means 14 dwelling units per acre.

- F. DRH (Downtown High Density Residential) District.** The DRH zoning district is applied to areas appropriate for multi-family residential uses. The maximum allowable density is 24 dwelling units per acre. The DRH zoning district is consistent with the High-Density Residential land use classification of the Downtown Specific Plan

Separate DRH zoning districts may be established with specific density requirements. These requirements shall be expressed as a suffix to the DRH Zoning Map symbol which denotes the maximum allowable number of dwelling units per acre. For example, DRH-20 means 20 dwelling units per acre and DRH-24 means 24 dwelling units per acre.

18.08.030 – Residential Zoning District Land Uses and Permit Requirements

- A. General land use permit requirements.** Tables 2-2 and 2-3 identify the uses of land allowed by this Development Code in each residential and downtown residential zoning district, and the land use permit required to establish each use, in compliance with Section 18.06.040 (Zoning District Regulations).

Note: Where the last column in the tables (“See Standards in Section”) includes a section number, the regulations in the referenced section apply to the use; however, provisions in other sections of this Development Code may also apply.

- B. Activities within railroad rights-of-way.** Railroad and railroad-related operations, activities and facilities within the Union Pacific railroad right-of-way and operating properties are not subject to the requirements of this Development Code.
- C. Mobile Home Park Conversion.** Any affordable units lost in the RM zoning district through conversion of a mobile home park to non-affordable housing or another use that would remove affordable manufactured housing units shall be replaced at a one-for-one replacement to ensure no net loss. Mobile home park conversion is subject to approval of a Use Permit by the review authority in accordance with Chapter 18.76 (Use Permits and Minor Use Permits).

**TABLE 2-2 – ALLOWED USES AND PERMIT REQUIREMENTS
FOR RESIDENTIAL ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT			See standards in Section:
	RR	RS	RM	

AGRICULTURE, RESOURCE & OPEN SPACE USES

Agricultural accessory structures	P			18.58.060
Agricultural processing uses	UP			
Animal raising and keeping of livestock, other large animals, fowl and other small animals and birds	P(2)			18.58.060
Nature reserves	P	P	P	
Trails	P	P	P	

RECREATION, EDUCATION & PUBLIC ASSEMBLY USES

Campgrounds	UP			
Community centers	UP	UP	UP	
Equestrian facilities, commercial or public	UP	UP		18.58.060
Golf courses and country clubs	UP	UP	UP	
Membership organization facilities	UP	UP	UP	
Outdoor commercial recreation	UP	UP	UP	
Parks and playgrounds	UP	UP	UP	
Private residential recreational facilities	MUP	MUP	MUP	
Public Assembly Uses	UP	UP	UP	
Recreational vehicle (RV) parks	UP(3)	UP(3)	UP(3)	18.58.150
Religious retreats and organizational camps	UP			
Schools – Public and private	UP	UP	UP	
Schools – Specialized education and training	UP	UP	UP	
Ski lift facilities and ski runs	UP	UP	UP	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 7,500 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Section 18.58.060 (Animal Raising and Keeping) may require a Minor Use Permit for certain animals and household pets, the raising and keeping of animals or household pets over a certain number, and/or the raising and keeping of animals on small parcels.
- (3) Allowed only as part of a mobile home park in accordance with Section 18.58.150.

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**TABLE 2-2 – ALLOWED USES AND PERMIT REQUIREMENTS
FOR RESIDENTIAL ZONING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT			See standards in Section:
	RR	RS	RM	
RESIDENTIAL USES				
Accessory dwelling units	P	P	P	18.58.025
Animal raising and keeping of household pets and backyard chickens	P	P	MUP	18.58.060
Detached living areas	P	P	P	18.58.100
Emergency shelters			UP	
Employee housing	P(3)	P(3)		
Farmworker housing, up to 12 units or 36 beds in group quarters	UP(4)			
Junior Accessory Dwelling Units	P	P		18.58.025.N
Manufactured home	P	P	P(5)	18.58.170
Mobile home, tiny home or recreational vehicle as a temporary residence during construction	P	P	P	18.58.160
Mobile home parks	UP	UP	UP	18.58.150
Multi-family dwellings, 2 to 10 units			P	18.58.180
Multi-family dwellings, 11 and more units			DP	18.58.180
Multi-family dwellings, individual ownership, 2 to 10 units		UP	P	18.58.180
Multi-family dwellings, individual ownership, 11 or more units		UP	DP	18.58.180
Residential care facilities, 1 to 6 clients	P	P	P	
Residential care facilities, 7 to 12 clients	UP	UP	UP	
Rooming and boarding houses			UP	
Senior citizen congregate care/congregate care housing			UP	18.58.240
Single-family dwellings(6)	P	P		
Supportive housing	P(3)	P(3)	P(3)	18.58.255
Transient rental, single-family dwellings	P	P	P	
Transitional housing	P(3)	P(3)	P(3)	
RETAIL TRADE USES				
Accessory retail uses			UP	18.58.030

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 7,500 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Section 18.58.060 (Animal Raising and Keeping) may require a Minor Use Permit for certain animals and household pets, the raising and keeping of animals or household pets over a certain number, and/or raising and keeping of animals on small parcels.
- (3) Employee, supportive, and transitional housing are subject to the same regulations that apply to other residential uses of the same type in that zone.
- (4) Farmworker housing is subject to the same regulations that apply to other agricultural uses in the same zone.
- (5) Manufactured homes within the multi-family residential zone shall meet the requirements of the “Dwelling, Multi-Family definition.
- (6) Small lot single-family subdivisions that comply with all requirements of Gov. Code, § 66499.40 are permitted in zoning districts that allow multi-family residential uses.

**TABLE 2-2 – ALLOWED USES AND PERMIT REQUIREMENTS
FOR RESIDENTIAL ZONING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT			See standards in Section:
	RR	RS	RM	

SERVICE USES

Bed and breakfast inns	MUP	MUP	MUP	18.58.070
Cemeteries and columbariums	UP			
Child day care centers	UP	UP	UP	18.58.080
Child day care, large family day care homes	P	P	P	18.58.080
Public buildings and structures	UP	UP	UP	
Public safety and utility facilities	UP	UP	UP	
Snow removal business	UP			
Snow removal business with seasonal contractors yard	UP			
Storage, accessory to multi-family residential project	UP	UP	UP	

TEMPORARY USES

Commercial filming	TUP	TUP	TUP	
Off-site contractor’s construction yard	TUP	TUP	TUP	18.62
Model homes	MUP	MUP	MUP	
Offices, temporary	TUP	TUP	TUP	
Offices, temporary real estate	MUP	MUP	MUP	
Temporary work trailers	TUP	TUP	TUP	

TRANSPORTATION, INFRASTRUCTURE & COMMUNICATIONS USES

Electric utility facilities	UP	UP	UP	18.58.114
Pipelines	UP	UP	UP	
Railroad and railroad-related operations (3)				
Telecommunications facilities (4)	UP			18.58.250
Utility lines	P	P	P	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning clearance required for projects with less than 7,500 sq. ft. or floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Section 18.58.060 (Animal Raising and Keeping) may require a Minor Use Permit for certain animals, or the raising and keeping of animals over a certain number.
- (3) Railroad and railroad-related operations, activities, and facilities within the Union Pacific Railroad right-of-way and operating properties are not subject to the land use permit and development standards of the Development Code.
- (4) Permit requirements vary by type of facility. See Section 18.58.250 (Telecommunications Facilities).

**TABLE 2-3 ALLOWED USES AND PERMIT REQUIREMENTS
FOR DOWNTOWN RESIDENTIAL ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT			See standards in Section:
	DRS	DRM	DRH	

AGRICULTURE, RESOURCE & OPEN SPACE USES

Nature reserves	P	P	P	
Trails	P	P	P	

RECREATION, EDUCATION & PUBLIC ASSEMBLY USES

Community centers		UP	UP	
Membership organization facilities		UP	UP	
Parks and playgrounds	UP	UP	UP	
Private residential recreational and community facilities	MUP	MUP	MUP	
Public Assembly Uses	UP	UP	UP	18.58.090
Schools – Public and private	UP	UP	UP	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).

Continues on next page.

**TABLE 2-3 ALLOWED USES AND PERMIT REQUIREMENTS
FOR DOWNTOWN RESIDENTIAL ZONING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT			See standards in Section:
	DRS	DRM	DRH	
RESIDENTIAL USES				
Accessory dwelling units	P	P	P	18.58.025
Animal raising and keeping of household pets and backyard chickens	P	P	MUP	18.58.060
Detached living areas	P	P	P	18.58.100
Emergency shelters			UP	
Employee housing	P(2)			
Junior Accessory Dwelling Units	P			18.58.025.N
Live/work units	MUP	UP	UP	18.58.130
Manufactured Home	P	P(3)	P(3)	18.58.170
Mobile home, tiny home or recreational vehicle as a temporary residence during construction	P	P	P	18.58.160
Mobile home parks	UP	UP	UP	18.58.150
Multi-family dwellings, 2 to 10 units	UP	P	P	18.58.180
Multi-family dwellings, 11 and more units	UP	DP	DP	18.58.180
Multi-family dwellings, individual ownership, 2 to 10 units	UP	P	P	18.58.180
Multi-family dwellings, individual ownership, 11 or more units	UP	DP	DP	18.58.180
Residential care facilities, 1 to 6 clients	P	P	P	
Residential care facilities, 7 to 12 clients	UP	UP	UP	
Rooming and boarding houses			UP	
Senior citizen congregate care/congregate care housing		UP	UP	18.58.240
Single-family dwellings(4)	P			
Supportive housing	P(2)	P(2)	P(2)	18.58.255
Transient rental, single-family dwellings	P	P	P	
Transitional housing	P(2)	P(2)	P(2)	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Employee, supportive, and transitional housing are subject to the same regulations that apply to other residential uses of the same type in that zone.
- (3) Manufactured homes within the multi-family residential zone shall meet the requirements of the “Dwelling, Multi-Family definition and the standards of other multi-family residential dwellings of the same type in the same zone.
- (4) Small lot single-family subdivisions that comply with all requirements of Gov. Code, § 66499.40 are permitted in zoning districts that allow multi-family residential uses.

Continues on next page.

**TABLE 2-3 ALLOWED USES AND PERMIT REQUIREMENTS
FOR DOWNTOWN RESIDENTIAL ZONING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT			See standards in Section:
	DRS	DRM	DRH	

SERVICE USES

Bed and breakfast inns	MUP	MUP	MUP	18.58.070
Child day care centers	UP	UP	UP	18.58.080
Child day care, large family day care homes	P	P	P	18.58.080
Public buildings and structures	UP	UP	UP	
Public safety and utility facilities	UP	UP	UP	
Spring water pumping		UP	UP	
Storage, accessory to multi-family residential project	UP	UP	UP	
Studios for art, dance, music, photography, etc., secondary to primary residential use		UP	UP	

TEMPORARY USES

Commercial filming	TUP	TUP	TUP	
Off-site contractor's construction yard	TUP	TUP	TUP	18.62
Model homes	MUP	MUP	MUP	
Offices, temporary real estate	MUP	MUP	MUP	
Temporary work trailers			TUP	

TRANSPORTATION, INFRASTRUCTURE & COMMUNICATIONS USES

Electric utility facilities	UP	UP	UP	18.58.114
Pipelines	UP	UP	UP	
Railroad and railroad-related operations (2)				
Utility lines	P	P	P	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area of 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).

18.08.040 - Residential Zoning District General Development Standards

Subdivisions, new land uses and structures, and alterations to existing land uses and structures shall be designed, constructed and/or established in compliance with the requirements in Table 2-4, in addition to any other applicable requirements of this Chapter, and the development standards (e.g., landscaping, parking and loading, etc.) in Article III (Site Planning and General Development Standards).

**TABLE 2-4
RESIDENTIAL DISTRICT GENERAL DEVELOPMENT STANDARDS**

Development Feature	Requirement by Zoning District		
	RR	RS	RM
Minimum lot size (1)	Minimum area and width for new parcels, except as otherwise provided by 18.08.050 (Minimum Lot Area and Maximum Density) and 18.92 (Subdivision Design). The total number of lots that may be allowed is determined by Section 18.08.050.		
Lot area	3 acres with on-site water and on-site sewage disposal; 1.5 acres with public water or public sewer; no minimum lot area with public water and sewer.	3 acres with on-site water and on-site sewage disposal; 1.5 acres with public water or public sewer; no minimum lot area with public water and sewer.	No minimum lot area with public water and sewer; no subdivision allowed otherwise.
Lot width (2)	70 ft. for interior lots, 75 ft. for corner lots in the RS district; 120 ft. elsewhere.	70 ft. for interior lots, 75 ft. for corner lots in the RS district; 120 ft. elsewhere.	70 ft. for interior lots; 75 ft. corner lots.
Residential density (3)	1 single-family unit per lot, one accessory dwelling unit, and one junior accessory dwelling unit in compliance with 18.58.025 (Accessory Dwelling Units).		See 18.08.050 (Minimum Lot Area and Maximum Density).
Setbacks required	Minimum setbacks required unless otherwise shown on the Zoning Map, Subdivision Map or Planned Development. See 18.30.120 (Setback Requirements and Exceptions) for setback measurement, allowed projections into setbacks, and exceptions to required setbacks.		
Front (4)	20 ft.; 20 ft. on parcels of 3 acres or larger.		
Sides (each)	10 ft.; 30 ft. on parcels of 3 acres or larger.		
Street-side (4)	15 ft.; 30 ft. on parcels of 3 acres or larger.		
Rear	20 ft.; 30 ft. on parcels of 3 acres or larger.		
Between structures	As required by Town Building Code		As required by Town Building Code.

Continues on next page.

TABLE 2-4
RESIDENTIAL DISTRICT GENERAL DEVELOPMENT STANDARDS (Continued)

Development Feature	Requirement by Zoning District		
	RR	RS	RM
Clustered units	Required for all development in compliance with Chapter 18.46 (Open Space/Cluster Requirements).		
Floor Area Ratio (FAR)	0.50 maximum for parcels adjacent to Donner Lake; no maximum FAR requirement elsewhere.		
Site coverage (5)	40% maximum; 50% maximum on lots of 10,000 sq. ft. or smaller.		50% maximum
Open space	For individual lots, none required other than provided by setback areas and maximum site coverage requirements.		30% or in compliance with 18.46 (Open Space/Cluster Requirements), whichever is greatest.
Height limit (6)	35 ft. or 3½ stories, whichever is less. See 18.30.090 (Height Measurement and Height Limit Exceptions) for exceptions.		
Landscaping	None required.		See Chapter 18.40.
Parking	As required by Chapter 18.48 (Parking and Loading Standards).		

Notes:

- (1) Clustered residential projects, condominiums, townhome or planned development projects may be subdivided with smaller parcel sizes for ownership purposes with narrower lot widths, increased site coverage and decreased setbacks for new parcels, with these requirements determined through the subdivision review process.
- (2) Measured at the front setback line.
- (3) Maximum number of dwelling units allowed for each specified unit of land, except where a different density is established by 18.08.050 (Minimum Lot Area and Maximum Density). The approval of a Tentative Map, Planned Development, Development Permit, Minor Use Permit or Use Permit may result in fewer dwelling units being allowed than the maximum density shown. See also Chapters 18.212 (Density Bonuses, Concessions and Incentives) and 18.214 (Inclusionary Housing) for possible density bonuses.
- (4) Garage may be allowed within front and street-side setbacks, not to exceed one story or 20 feet above driveway grade. May not include second floor storage, habitable space, attics, etc. Storage and habitable space may be allowed below road and driveway grade. See 18.58.220 (Residential Accessory Uses and Structures) for garage setback exception.
- (5) Maximum percentage of net site area that may be covered with structures and pavement. See the definition of site coverage in Chapter 18.220 (Definitions, Glossary).
- (6) Maximum allowable height for structures.

Continues on next page.

**TABLE 2-4
RESIDENTIAL DISTRICT GENERAL DEVELOPMENT STANDARDS (Continued)**

Development Feature	Requirement by Zoning District		
	DRS	DRM	DRH
Minimum lot size (1)	Minimum area and width for new parcels, except as otherwise provided by 18.08.050 (Minimum Lot Area and Maximum Density) and 18.92 (Subdivision Design). The total number of lots that may be allowed is determined by Section 18.08.050.		
Lot area	No minimum lot area		
Lot width (2)	40 ft.		
Residential density (3)	1 single-family unit per lot, one accessory dwelling unit, and one junior accessory dwelling unit in compliance with 18.58.025.	See 18.08.050	
Setbacks required	Minimum setbacks required unless otherwise shown on the Zoning Map, Subdivision Map, or Planned Development. See 18.30.120 (Setback Requirements and Exceptions) for setback measurement, allowed projections into setbacks and exceptions to required setbacks. The Director may reduce or waive the minimum setbacks if the Director finds that reducing or waiving the setback will result in a design more compatible with the historic development patterns of the area.		
Front (4)	15 ft.		
Sides (each)	5 ft.	10 ft.	
Street-side (4)	10 ft.		
Rear	20 ft.	25 ft.	
Between structures	As required by Town Building Code		
Clustered units	Required for all development in compliance with Chapter 18.46 (Open Space/Cluster Requirements).		
Site coverage (5)	70% maximum	70% maximum	70% maximum
Open space	None required, other than provided by setback areas and maximum site coverage requirements.	30% or in compliance with 18.46 (Open Space/Cluster Requirements), whichever is greatest.	
Height limit (6)	35 ft. or 3½ stories, whichever is less. See 18.30.090 (Height Measurement and Height Limit Exceptions) for exceptions.		

Continues on next page.

TABLE 2-4
RESIDENTIAL DISTRICT GENERAL DEVELOPMENT STANDARDS
 (Continued)

Notes:

- (1) Clustered residential projects, condominiums, townhome or planned development projects may be subdivided with smaller parcel sizes for ownership purposes with narrower lot widths, increased site coverage and decreased setbacks for new parcels, with these requirements determined through the subdivision review process.
- (2) Measured at the front setback line.
- (3) Maximum number of dwelling units allowed for each specified unit of land, except where a different density is established by 18.08.050 (Minimum Lot Area and Maximum Density). The approval of a Tentative Map, Planned Development, Development Permit, Minor Use Permit or Use Permit may result in fewer dwelling units being allowed than the maximum density shown. See also Chapters 18.212 (Density Bonuses, Concessions and Incentives) and 18.214 (Inclusionary Housing) for possible density bonuses.
- (4) Garage may be allowed within front and street-side setbacks, not to exceed one story or 20 feet above driveway grade. May not include second floor storage, habitable space, attics, etc. Storage and habitable space may be allowed below road and driveway grade. See 18.58.220 (Residential Accessory Uses and Structures) for garage setback exception.
- (5) Maximum percentage of net site area that may be covered with structures and pavement. See the definition of site coverage in Chapter 18.220 (Definitions, Glossary).
- (6) Maximum allowable height for structures.

18.08.050 – Minimum and Maximum Density

The minimum and the maximum density of residential development is determined by this Section. In all cases, the approval of a residential project and/or subdivision through the land use permit and Tentative Map process may result in fewer dwelling units being allowed than the maximum allowable density established by this Chapter. The maximum density may be increased in accordance with Section 18.08.050.C (Density Incentives).

A. RR, RS and DRS districts.

1. The maximum number of dwelling units that may be allowed on a parcel in the RR, RS and DRS districts shall be one single-family dwelling, one accessory dwelling unit, and one junior accessory dwelling unit unless the parcel is subdivided into multiple parcels as may be allowed by the maximum density.
2. Where minimum lot area and density requirements are established by the Zoning Map, a suffix to the zoning district map symbol shall state the maximum density, expressed as dwelling units per acre, for subdivision of the parcel. For example, RR-0.1 means one unit per 10 acres and RS-4 means four units per acre. The maximum number of parcels allowed shall be equivalent to the density established on the Zoning Map. Accessory dwelling units and junior accessory dwelling units shall not count towards the maximum allowed density.
3. Where no further subdivision of existing parcels is allowed because the maximum density designated by the General Plan has been achieved through previous subdivisions, the Zoning Map symbol shall include an "X" suffix. For example: RS-X.
4. Where no further subdivision of a parcel is allowed because the parcel upon its subdivision would exceed the maximum density established by the Zoning Map, the review body may approve a tentative map proposing to subdivide the parcel if all of the following conditions are met:

- a. The subdivision will create only one additional parcel, and the newly created parcels cannot be further subdivided under the maximum density established by the Zoning Map;
 - b. The parcel before subdivision is at least 90 percent of the parcel size needed to divide the parcel into two parcels under the maximum density established by the Zoning Map (e.g. a parcel with a density of one unit per five acres would have to be at least nine acres in size – 90% of 10 acres);
 - c. The zoning district and maximum density in existence and applied to the parcel prior to adoption of this Development Code would have permitted the subdivision; and
 - d. The parcel was created on or prior to February 15, 1996.
5. The review body may approve a tentative map proposing parcels 2.5 to 10 acres in size only if all of the following findings can be made:
- a. The subdivision is located within or adjacent to an established rural subdivision or an area developed with similar size parcels; and
 - b. Further subdivision of the parcels will not be permitted or a planned development has been adopted for the subdivision which will ensure the orderly subdivision and development of the parcels to sizes less than 2.5 acres.

B. RM, DRM and DRH districts. The number of dwelling units allowed on a parcel within the RM, DRM and DRH zoning districts shall be determined as follows:

- 1. **Map symbol suffix.** The suffix to the zoning district map symbol shall state the maximum number of dwelling units allowed per acre. For example, RM-6 means six dwelling units per acre and RM-20 means 20 dwelling units per acre. Accessory dwelling units shall not count towards the maximum allowed density.
- 2. **Density based on number of bedrooms.** Within the RM, DRM and DRH zoning districts, the allowed number of dwelling units may also be based on the number of bedrooms in each unit, as shown in Table 2-5.

**TABLE 2-5
DWELLING UNIT EQUIVALENTS
BASED ON NUMBER OF BEDROOMS**

Number of Bedrooms in Unit	Equivalent Number of Dwelling Units
Studio	0.50 units
1 bedroom	0.67 units
2 bedrooms	0.80 units
3 bedrooms or more	1.00 unit

The maximum number of multi-family dwelling units that may be allowed on a site shall be calculated by multiplying the total site area by the number of units allowed in the zoning district, and then dividing the number of units allowed on the site by the desired equivalent number of dwelling units.

For example, the maximum number of units allowed on a .62-acre site in the RM-6 district would be calculated as: 0.62 acre x 6 units/acre = 3.72 units allowed. The site could accommodate any combination of studio and/or one-, two-, three-bedroom or larger units as long as the total number of equivalent dwelling units based on Table 2-5 does not exceed 3.72.

C. Density Requirements for all residential zoning districts (RR, RS, DRS, RM, DRM, and DRH). In order to ensure efficient use of land and an adequate supply of housing to meet the housing needs of all segments of the community, residential projects shall be required to achieve minimum densities consistent with the following:

- a. Projects with 90 percent to 100 percent of the maximum allowable density shall be exempt from providing additional housing units beyond those required under Chapter 18.214 (Inclusionary Housing).
- b. For projects with less than 90 percent of the maximum allowable density, additional inclusionary housing units shall be provided as shown in Table 2-6 below:

**TABLE 2-6
MINIMUM DENSITY REQUIREMENT**

Minimum Density (% of maximum allowed density for the residential zoning district)	Additional Required Inclusionary Housing Units (% of maximum density)
90-100%	0%
80-89%	5%
70-79%	10%
60-69%	15%
50-59%	20%

- c. All projects must provide a minimum of 50% of the maximum allowable density on-site unless an exception is granted by the review authority consistent with Subsection d below, or the review authority approves a Transfer of Development Rights or project phasing plan.
- d. Exceptions to Minimum Density Requirements. The review authority may waive the requirements of Section D if one or both of the following findings can be made:
 - (1) There are special circumstances applicable to the property such as environmental or other site constraints that preclude construction of the minimum number of dwelling units on site;
 - (2) Requiring the minimum density on-site would be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.

D. Density Incentives. The review authority may increase the maximum density requirements established by this section in accordance with Chapter 18.212 (Density Bonuses, Concessions and Incentives) and Section 18.214.060 (Inclusionary Housing – Density Bonuses, Incentives and Concessions), and/or in accordance to the following findings and standards:

1. The review authority may approve a density increase, with or without conditions, only if all of the following findings can be made:
 - a. The density increase is proportional to the benefit provided by the project, including exemplary design and environmental sensitivity, and compliance with the other provisions of this Section;
 - b. The density increase will not create unmitigable traffic circulation impacts in the site vicinity or elsewhere in the Town; and
 - c. The subject site is physically suitable for and adequate in size and shape to accommodate the density of development being proposed.
2. The review authority may increase the maximum density by five percent up to a maximum of 15 percent for each/any of the following project features:
 - a. Lands are dedicated for public open space, public access and/or public recreation beyond that necessary for the project;
 - b. The site is within the preferred infill area shown on Sheet 28 of the Town Zoning Map; and/or
 - c. The project will provide enhanced public facilities which are needed by the Town beyond those necessary for the project or required for the project as mitigation measures (for example, transit facilities).
3. No increased density shall be granted unless the Town Engineer first determines that the increased project density will not create unmitigable traffic circulation impacts in the site vicinity or elsewhere in the Town.

18.08.060 - Residential Zoning District Performance Standards

All land uses proposed in a Residential Zoning District shall be operated and maintained so as to not be injurious to public health, safety or welfare, and shall comply with the following standards:

- A. Sewer requirement.** No land use shall be approved with on-site sewage disposal. Connection to sewer shall be required.
- a. **Exceptions.** Residential subdivisions creating four or less parcels and existing legal single-family lots may use on-site septic systems with the approval of the appropriate health and environmental agencies. For new subdivisions of three or less parcels, the review authority may require connection to sewer if the project is located in close proximity to existing or future sewer lines. Portable toilets (e.g., port-a-potties) may be

Residential Zoning Districts

18.08

used on a temporary basis during construction only when the site has an active building permit.

CHAPTER 18.12 - COMMERCIAL AND MANUFACTURING ZONING DISTRICTS

Sections:

- 18.12.010 - Purpose of Chapter
- 18.12.020 - Purposes of Commercial and Manufacturing Districts
- 18.12.030 - Commercial and Manufacturing District Land Uses and Permit Requirements
- 18.12.040 - Commercial and Manufacturing District General Development Standards
- 18.12.050 - Floor Area Ratio Criteria
- 18.12.060 - Mixed Use Component
- 10.12.070 - Downtown Commercial District Development Standards
- 18.12.080 - Commercial and Manufacturing District Performance Standards
- 18.12.090 - Retail Trade Uses

18.12.010 - Purpose of Chapter

This Chapter provides regulations applicable to existing development and new land uses in the commercial and industrial zoning districts established by Section 18.06.020 (Zoning Districts Established).

18.12.020 - Purposes of Commercial and Manufacturing Districts

The purposes of the individual commercial and manufacturing/industrial zoning districts and the manner in which they are applied are as follows.

- A. **CN (Neighborhood Commercial) District.** The CN zoning district is applied to areas appropriate for retail sales, offices and services serving the daily needs of nearby residents. This district may also accommodate mixed-use developments with residential and commercial uses. The development standards and permit requirements of the CN district are intended to create a pedestrian-oriented environment. The floor area ratio for commercial development is 0.20, and the density for residential development within the CN district is four units per acre for mixed use developments and 12 units per acre for stand-alone multi-family residential projects. The CN zoning district is consistent with the Residential, Residential High Density, Commercial, Public (Hospital/Office) and Tahoe Donner PC land use classifications of the General Plan.
- B. **CG (General Commercial) District.** The CG zoning district is applied to areas appropriate for a wide range of commercial uses including retail trade and service uses such as restaurant, office and personal service uses. This district may also accommodate mixed-use developments with residences. The floor area ratio for commercial development is 0.20, and the density for residential development within the CG district is four units per acre for mixed-use developments and 12 units per acre for stand-alone multi-family residential projects. The CG zoning district is consistent with the Commercial and Public (Hospital/Office) land use classifications of the General Plan and the Commercial land use classification of the Downtown Specific Plan.

- C. CH (Highway Commercial) District.** The CH zoning district is applied to locations along highways and it is intended to provide highway and tourist related services. The floor area ratio for commercial development in the CH zoning district is 0.20. The CH zoning district is consistent with the Commercial land use classification of the General Plan.
- D. CS (Service Commercial) District.** The CS zoning district is applied to areas appropriate for more intensive commercial activities than are allowed in other commercial zoning districts. The floor area ratio for commercial development in the CS zoning district is 0.20, and the density for residential development within the CS district is 4.0 units per acre for mixed-use developments. The CS zoning district is consistent with the Commercial and Industrial land use classifications of the General Plan.
- E. M (Manufacturing/Industrial) District.** The M zoning district is applied to areas appropriate for manufacturing/industrial uses including processing, distributions and storage. The floor area ratio for industrial development in the M zoning district is 0.20. The M zoning district is consistent with the Industrial land use classification of the General Plan.
- F. DMU (Downtown Mixed Use) District.** The DMU zoning district is applied to areas in the Downtown Study Area appropriate for a combination of retail sales, offices, services, lodging and residential land uses. The development standards and permit requirements of the DMU district are intended to create a pedestrian-oriented mixed-use environment. In general, most non-retail related uses are prohibited in ground floor spaces along Commercial Row within this district. For a complete list of allowed uses, see Table 2-7 in Chapter 18.12. There is no maximum floor area ratio. The maximum density for residential development is 24 dwelling units per acre. The DMU zoning district is consistent with the Mixed Use land use classification of the Downtown Specific Plan.
- G. DC (Downtown Commercial) District.** The DC zoning district is applied to areas in the Downtown Study Area appropriate for a wide range of commercial uses in or near the Downtown Core, including retail sales, restaurants and offices. There is no maximum floor area ratio. The DC zoning district is consistent with the Commercial land use classification of the Downtown Specific Plan.
- H. DVL (Downtown Visitor Lodging) District.** The DVL zoning district is applied to the “gateway property” at the southwest corner of the I-80/Highway 267 interchange. The DVL district accommodates lodging as the primary use. Secondary and appurtenant uses such as a restaurant, meeting rooms and a visitor center are allowed. High-density residential, with a minimum density of 16 dwelling units per acre is encouraged in the DVL district through the use of incentives. See Section 18.58.180.D (Multi-Family Residential Projects) for a complete description of the incentives. The maximum floor area ratio is 0.25. Residential uses are not counted toward the maximum floor area ratio. The DVL district is consistent with the Visitor Lodging land use classification of the Downtown Specific Plan.
- I. DM (Downtown Manufacturing) District.** The DM zoning district is applied to areas in the Downtown Study Area appropriate for manufacturing/industrial uses. There is no maximum floor area ratio. The DM zoning district is consistent with the Industrial land use classification of the Downtown Specific Plan.

18.12.030 - Commercial and Manufacturing District Land Uses and Permit Requirements

- A. General land use permit requirements.** Tables 2-6 and 2-7 identify the uses of land allowed by this Development Code in the commercial and manufacturing/industrial zoning districts, and the land use permit required to establish each use, in compliance with Section 18.06.040 (Zoning District Regulations).

Note: Where the last column in the tables (“See Standards in Section”) includes a section number, the regulations in the referenced section apply to the use; however, provisions in other sections of this Development Code may also apply.

- B. Activities within railroad rights-of-way.** Railroad and railroad-related operations, activities and facilities within the Union Pacific railroad right-of-way and operating properties are not subject to the requirements of this Development Code.
- C. Mobile Home Park Conversion.** Any affordable units lost in the CG zoning district through conversion of a mobile home park to non-affordable housing or another use that would remove affordable manufactured housing units shall be replaced at a one-for-one replacement to ensure no net loss. Mobile home park conversion is subject to approval of a Use Permit by the review authority in accordance with Chapter 18.76 (Use Permits and Minor Use Permits).

**TABLE 2-7 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR COMMERCIAL AND MANUFACTURING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	CN (2)	CG	CH	CS	M	

AGRICULTURE, RESOURCE & OPEN SPACE USES

Mining and quarrying					UP	
Nature reserves	P	P	P	P	P	
Trails	P	P	P	P	P	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 7,500 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Use on a site adjacent to a residential zoning district shall comply with the special setback, screening and landscaping standards in Section 18.30.110(E) (Screening between neighborhood commercial and residential land uses) and section 18.40.040(E) (Landscaping requirements between neighborhood commercial and residential land uses).

**TABLE 2-7 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	CN (2)	CG	CH	CS	M	

MANUFACTURING, INDUSTRIAL & PROCESSING USES

Aggregate processing and batch plants					UP	
Beverage production and food production		UP		UP	P	
Chemical products					UP	
Clothing products					P	
Concrete, gypsum, and plaster products					UP	
Electrical and electronic equipment, instruments					P	
Food and beverage distribution		UP		UP	P	
Furniture and fixtures manufacturing				UP	P	
Glass products					P	
Handcraft industries, small-scale manufacturing					P	
Laundries and dry cleaning plants					P	
Lumber and wood products					P	18.58.200
Machinery manufacturing					P	
Makerspace, Manufacturing					P	18.58.135
Metal fabrication, machine and welding shops					P	
Motor vehicles and transportation equipment					UP	
Paper products					UP	
Paving and roofing materials					UP	
Pharmaceuticals					P	
Plastics and rubber products					UP	
Printing and publishing		P		P	P	
Recycling – Composting					UP	18.58.210
Recycling - Large collection facility					P	18.58.210
Recycling - Reverse vending machines	P	P	UP	P	P	18.58.210
Recycling - Scrap and dismantling yards					UP	18.58.210
Recycling - Small collection facility		MUP		MUP	P	18.58.210
Stone and cut stone products					P	
Structural clay and pottery products					P	
Textile and leather products					P	
Warehousing, wholesaling and distribution					P	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure in Section:
P	Permitted use, Zoning Clearance required for projects with less than 7,500 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Use on a site adjacent to a residential zoning district shall comply with the special setback, screening and landscaping standards in Section 18.30.110(B) (Screening between neighborhood commercial and residential land uses) and Section 18.40.040(E) (Landscaping requirements between neighborhood commercial and residential land uses).

**TABLE 2-7 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	CN (2)	CG	CH	CS	M	
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES						
Community centers	P	P		UP		
Docks and piers, commercial	MUP	MUP				
Health/fitness facilities	UP	P		P		
Ice skating rinks		P		P		
Indoor recreation centers		P		P		
Libraries and museums	P	P				
Marina	UP	UP				
Membership organization facilities	MUP	P				
Outdoor commercial recreation	MUP	P	MUP			
Parks and playgrounds	UP	UP		UP	UP	
Public Assembly Uses	UP	UP		UP	UP	18.58.090
Recreational vehicle (RV) parks			UP			
Schools - Public and private	UP	P				
Schools - Specialized education and training		P		UP	UP	
Studios for art, dance, music, photography, etc.	P	P		P	P	
Theaters and event spaces	UP	UP				
RESIDENTIAL USES						
Accessory dwelling units	P(4)	P(4)		P	P	18.58.025
Caretaker housing	MUP	MUP	MUP	MUP	MUP	
Emergency shelters	UP	P	UP	P		
Live/work units	MUP	MUP		MUP	MUP	18.58.130
Multi-family dwellings, 11 and more units	UP(5)	UP(5)				18.58.180
Multi-family dwellings, in commercial/industrial project	P	P		P	P	18.58.180, 18.58.140
Senior citizen congregate care/congregate care housing	UP					18.58.240
Single-family dwelling(6)(7)						
Single-room occupancy (SRO) housing	UP	UP				
Supportive housing	P(3)	P(3)		P(3)	P(3)	18.58.255
Transitional housing	P(3)	P(3)		P(3)	P(3)	
Transitional Living Center	UP	UP		UP		
Work/live units	MUP	MUP		MUP	MUP	18.58.130

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 7,500 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Use on a site adjacent to a residential zoning district shall comply with the special setback, screening and landscaping standards in Section 18.30.110(E) (Screening between neighborhood commercial and residential lands uses) and Section 18.40.040(E) (Landscaping requirements between neighborhood commercial and residential land uses).
- (3) Supportive and transitional housing are subject to the same regulations that apply to other residential uses of the same type in that zone.
- (4) Accessory Dwelling Units associated with multi-family residential project.
- (5) Standalone residential uses shall be subject to the development standards of the RM zoning district and Section 18.58.180 (Multi-family Residential Projects)

Commercial and Manufacturing Districts

18.12

- (6) Time-share uses are allowed within existing legal nonconforming single-family residences in the CG and CN zoning districts.
- (7) Small lot single-family subdivisions that comply with all requirements of Gov. Code, § 66499.40 are permitted in zoning districts that allow multi-family residential uses.

**TABLE 2-7 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	CN (2)	CG	CH	CS	M	
RETAIL TRADE USES (3)						
Accessory retail uses	P	P	UP	P	P	18.58.030
Adult entertainment businesses					UP	18.58.050
Alcoholic beverage sales, other than beer and wine	MUP	MUP	UP	MUP		
Auto, mobile home and vehicle sales		UP		UP		
Auto parts sales	P	P	UP	P		
Bars and drinking establishments	UP	UP				
Building material sales				UP	P	18.58.200
Cannabis delivery services		UP		UP	UP	18.58.075
Convenience stores	MUP	MUP	UP			
Furniture, furnishings and equipment stores	P	P		P		
Grocery stores	P	P				
Outdoor dining and seating areas	P	P	UP	P		18.58.190
Outdoor sales and displays of merchandise, large	MUP	MUP	MUP	MUP	P	18.58.190
Outdoor sales and displays of merchandise, small and medium	P	P	P	P	P	18.58.190
Outdoor storage of merchandise	MUP	MUP	MUP	MUP	P	18.58.190
Plant nurseries and garden supply sales		MUP		MUP		18.58.190
Restaurants, fast food	P	P	UP	P		
Restaurants, drive-in or with drive-through facilities			UP			18.58.110
Restaurants, table service	P	P	UP			
Retail stores, general merchandise	P	P	UP	P		
Second hand stores		P		P		
Warehouse retail stores				P	P	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 7,500 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Use on a site adjacent to a residential zoning district shall comply with the special setback, screening and landscaping standards in Section 18.30.110(E) (Screening between neighborhood commercial and residential land uses) and Section 18.40.040(E) (Landscaping requirements between neighborhood commercial and residential land uses).
- (3) Retail trade businesses shall comply with the floor space standards in Section 18.12.090 (Retail Trade Uses).

**TABLE 2-7 – ALLOWED USES AND PERMIT REQUIREMENTS
FOR COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	CN (2)	CG	CH	CS	M	
SERVICE USES						
Automated teller machines (ATMs)	P	P	UP			
Banks and financial services	P	P	UP			
Bed and breakfast inns	MUP	P	MUP			18.58.070
Business support services		P		P		
Car wash	UP	UP	UP(3)	UP		
Card lock fueling facilities				UP	P	
Child day care centers	P	P			UP	18.58.080
Child day care, large family day care homes	P					18.58.080
Construction contractor's yard				UP	P	
Hotels and motels	UP	P	UP	UP		
Laundromat	P	P		P	P	
Makerspace, Craft	P	P		P		18.58.135
Medical services - Clinics and laboratories	P	P				
Medical services - Extended care	UP	P				
Medical services - Hospitals	UP	P				
Mortuaries		P				
Offices, accessory to primary use	P	P	P	P	P	
Offices, business and professional	P	P		P		
Outdoor storage and work areas				UP	P	
Personal services	P	P		P		
Public buildings and structures	UP(4)	UP(4)	UP(4)	UP (4)	UP(4)	
Public safety and utility facilities	UP	UP	UP	UP	UP	
Repair/maintenance - Consumer products	P	P		P		
Repair/maintenance - Vehicle		UP	UP	P	P	
Research and development (R&D)	P	P		P	P	
Service stations	P	P	UP	P		
Snow removal business	UP	UP	UP	UP	P	
Storage, personal storage facilities (mini-storage)		UP		P	P	
Veterinary clinics, animal hospitals, kennels, boarding	UP	P			P	
Visitor center	P	P	UP			

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 7,500 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq .ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
Section 18.40.040(E) (Landscaping requirements between neighborhood commercial and residential land uses).
- (2) Use on a site adjacent to a residential zoning district shall comply with the special setback, screening and landscaping Section 18.40.040(E) (Landscaping requirements between neighborhood commercial and residential land uses).
- (3) Use allowed only appurtenant to service station.
- (4) Permitted if the public agency use (e.g. office, outdoor storage, etc.) is permitted in zoning district; UP otherwise.

**TABLE 2-7 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	CN (2)	CG	CH	CS	M	

TEMPORARY USES

Commercial filming	TUP	TUP	TUP	TUP	TUP	18.62
Off-site contractor's construction yard	TUP	TUP	TUP	TUP	TUP	18.62
Offices, temporary	TUP	TUP	TUP	TUP	TUP	18.62
On-site material processing		TUP	TUP	TUP	TUP	18.62
On-site soil remediation activities	TUP	TUP	TUP	TUP	TUP	18.62
Outdoor retail sales, temporary	TUP	TUP	TUP	TUP	TUP	18.62
Seasonal sales lot	TUP	TUP	TUP	TUP	TUP	18.62
Temporary events, non-profit organization	TUP	TUP	TUP	TUP	TUP	18.62
Temporary work trailers	TUP	TUP	TUP	TUP	TUP	18.62

TRANSPORTATION, INFRASTRUCTURE & COMMUNICATIONS USES

Broadcasting studios		P		P		
Commercial parking and vehicle storage				UP	UP	
Electrical utility facilities	UP	UP	UP	UP	UP	18.58.114
Pipelines	UP	UP	UP	UP	UP	
Railroad and railroad-related operations (3)						
Telecommunications facilities (4)	UP	UP	UP	UP	UP	18.58.250
Tow yard				UP	P	18.58.200
Transit stations and terminals		UP	UP	UP		
Transit stops shelters	P	P	P	P	P	
Truck stops					UP	
Utility lines	P	P	P	P	P	
Vehicle and freight terminals					UP	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 7,500 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 7,500 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Use on a site adjacent to a residential zoning district shall comply with the special setback, screening and landscaping standards in Section 18.30.110(E) (Screening between neighborhood commercial and residential land uses and Section 18.40.040(E) (Landscaping requirements between neighborhood commercial and residential land uses).
- (3) Railroad and railroad-related operations, activities and facilities within the Union Pacific Railroad right-of-way and operating properties are not subject to the land use permit and development standards of the Development Code.
- (4) Permit requirements vary by type of facility. See Section 18.58.250 (Telecommunications Facilities).

TABLE 2-8 ALLOWED USES AND PERMIT REQUIREMENTS FOR DOWNTOWN COMMERCIAL AND MANUFACTURING DISTRICTS

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT				See standards in Section:
	DMU	DC	DM	DVL	

AGRICULTURE, RESOURCE & OPEN SPACE USES

Nature reserves	P	P	P	P	
Trails	P	P	P	P	

MANUFACTURING, INDUSTRIAL & PROCESSING USES

Beverage production and food production	UP (2)	UP	UP	UP	
Chemical products			UP		
Clothing products			P		
Concrete, gypsum and plaster products			UP		
Electrical and electronic equipment, instruments			P		
Food and beverage distribution	UP (2)	UP	UP	UP	
Furniture and fixtures manufacturing			P		
Glass products		UP	P	UP	
Handcraft industries, small-scale manufacturing	UP (2)	UP	P	UP	
Laundries and dry cleaning plants			P		
Lumber and wood products			P		18.58.200
Machinery manufacturing			P		
Makerspace, Manufacturing	UP (2)	UP	P	UP	18.58.135
Metal fabrication, machine and welding shops			P		
Motor vehicles and transportation equipment			P		
Paper products			P		
Paving and roofing materials			UP		
Pharmaceuticals			P		
Plastics and rubber products			UP		
Printing and publishing	P (2)	P	P	P	
Recycling - Composting			P		18.58.210
Recycling - Large collection facility			P		18.58.210
Recycling - Reverse vending machines	P (2)	P	P	P	18.58.210
Recycling - Small collection facility	MUP (2)	MUP	P	MUP	18.58.210
Stone and cut stone products			P		
Structural clay and pottery products	P (2)	P	P	P	
Textile and leather products			P		
Warehousing, wholesaling and distribution			P		

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required. Use not allowed. See 18.03.020.E regarding uses not listed.	18.80

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) These uses are prohibited on ground floor spaces along Commercial Row. See Section 18.20.070.

**TABLE 2-8 – ALLOWED USES AND PERMIT REQUIREMENTS
FOR DOWNTOWN COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT				See standards in Section:
	DMU	DC	DM	DVL	

RECREATION, EDUCATION & PUBLIC ASSEMBLY USES

Community centers	P (2)	P		P	
Health/fitness facilities	P (2)	P		P	
Ice skating rinks		P	P		
Indoor recreation centers		P			
Libraries and museums	P (2)	P		P	
Membership organization facilities	P (2)	P		P	
Outdoor commercial recreation	UP (2)	P		UP	18.58.090
Parks and playgrounds	UP (2)	UP	UP	UP	
Public Assembly Uses	UP(2)	UP	UP	UP	18.58.090
Schools – Public and private	UP (2)	P		P	
Schools – Specialized education and training	UP (2)	P		P	
Studios for art, dance, music, photography, etc.	P (2)	P (2)	P (2)		
Theaters and event spaces	UP	P		P	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq .ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) These uses are prohibited on ground floor spaces along Commercial Row. See Section 18.20.070.

Table continues on next page.

**TABLE 2-8 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR DOWNTOWN COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT				See standards in Section:
	DMU	DC	DM	DVL	
RESIDENTIAL USES					
Accessory dwelling units	P (2)(3)	P	P	P	18.58.025
Animal raising and keeping of household pets and backyard chickens	P (4)	P (4)	P (4)	P (4)	18.58.060
Caretaker housing	MUP (3)	MUP	MUP	MUP	
Detached living areas	P (3)				18.58.100
Emergency shelters/transitional living centers		UP			
Emergency shelters, accessory to a church/place of worship	MUP(3)				
Employee housing	P(6)				
Junior Accessory Dwelling Units	P				18.58.025.N
Live/work units	MUP (3)	MUP	MUP		18.58.130
Manufactured home	P (2)(3)(7)				18.58.170
Multi-family dwellings, 2 to 10 units	P (2)(3)				18.58.180
Multi-family dwellings, 11 and more units	DP (2)(3)			DP(5)	18.58.180
Multi-family dwellings, individual ownership, 2 to 10 units	P (2)(3)				18.58.180
Multi-family dwellings, individual ownership, 11 or more units	DP (2)(3)			DP(5)	18.58.180
Multi-family dwellings, in commercial/industrial project	P (3)	P	P		18.58.180, 18.58.140
Residential care homes, 7 to 12 clients	UP (3)				
Senior citizen congregate care/congregate care housing	UP (3)				18.58.240
Single-family dwellings(8)	P (2)(3)				
Single-room occupancy (SRO) housing	UP (3)				
Supportive housing	P(6)	P(6)	P(6)	P(6)	18.58.255
Transient rental, single-family dwellings	P (3)				
Transitional housing	P(6)	P(6)	P(6)	P(6)	
Work/live units	MUP (3)	MUP	MUP		18.58.130

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required. Use not allowed. See 18.03.020.E regarding uses not listed.	18.80

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Stand-alone residential projects must comply with residential development standards of DRM zoning district.
- (3) These uses are prohibited on ground floor spaces along Commercial Row. See Section 18.20.070.
- (4) Section 18.58.060 (Animal Raising and Keeping) may require a Minor Use Permit for certain animals and household pets, or the raising and keeping of animals or household pets over a certain number, and/or the raising and keeping of animals on small parcels.
- (5) Multi-family dwellings within the DVL zoning district shall have a minimum density of 16 dwelling units per acre.
- (6) Employee, supportive, and transitional housing are subject to the same regulations that apply to other residential uses of the same type in that zone.
- (7) Excludes sites listed on the National Register of Historic Places.
- (8) Small lot single-family subdivisions that comply with all requirements of Gov. Code, § 66499.40 are permitted in zoning districts that allow multi-family residential uses.

**TABLE 2-8 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR DOWNTOWN COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT				See standards in Section:
	DMU	DC	DM	DVL	

RETAIL TRADE USES (2)

Accessory retail uses	P	P	P	P	18.58.030
Adult entertainment businesses			UP		18.58.050
Alcoholic beverage sales, other than beer and wine	MUP	MUP	MUP	MUP	
Auto parts sales	P	P		P	
Bars and drinking establishments	UP	P		P	
Building material sales			P		18.58.200
Cannabis delivery services			UP		18.58.075
Convenience stores	P	P			
Furniture, furnishings and equipment stores	P	P		P	
Grocery stores	P	P		P	
Outdoor dining and seating areas	P	P		P	18.58.190
Outdoor sales and displays of merchandise, large	MUP	MUP	MUP	MUP	18.58.190
Outdoor sales and displays of merchandise, small and medium	P	P	P	P	18.58.190
Outdoor storage of merchandise	MUP	MUP	MUP	MUP	18.58.190
Plant nurseries and garden supply sales	MUP	MUP	MUP	MUP	18.58.190
Restaurants, fast food	P	P		P	
Restaurants, table service	P	P		P	
Retail stores, general merchandise	P	P		P	
Second hand stores	P	P		P	
Warehouse retail stores			P		

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required. Use not allowed. See 18.03.020.E regarding uses not listed.	18.80

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Retail trade businesses shall comply with the floor space standards in Section 18.12.090 (Retail Trade uses).

Table continues on next page.

**TABLE 2-8 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR DOWNTOWN COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT				See standards in Section:
	DMU	DC	DM	DVL	
SERVICE USES					
Automated teller machines (ATMs)	P	P		P	
Banks and financial services	P (3)	P		P	
Bed and breakfast inns	MUP (3)	P			18.58.070
Business support services	P (3)	P		P	
Car wash			UP		
Card lock fueling facilities			UP		
Child day care centers	UP (3)	P		P	18.58.080
Child day care, large family day care homes	P (3)				18.58.080
Construction contractor's yard			UP		
Hotels and motels	UP (3)	P		P	
Laundromats		P	P		
Makerspace, Craft	P (3)	P		P	18.58.135
Medical services - Clinics and labs	P (3)	P		P	
Medical services - Extended care	UP (3)	P			
Mortuaries	UP (3)	UP		UP	
Offices, accessory to primary use	P (3)	P	P	P	
Offices, business and professional	P (3)	P		P	
Outdoor storage and work areas			MUP		18.58.200
Personal services	P (3)	P		P	
Public buildings and structures	UP(2)	UP(2)	UP(2)	UP(2)	
Public safety and utility facilities	UP	UP	UP	UP	
Repair/maintenance – Consumer products	P (3)	P	P	P	
Repair/maintenance – Vehicle			P		
Research and development (R&D)	P (3)	P	P	P	
Residential care facilities	UP (3)	P			
Service stations		UP	UP		
Snow removal business			UP		
Storage, personal storage facilities (mini-storage)			P		
Veterinary clinics, animal hospitals, kennels, boarding	UP (3)	P	P		
Visitor center	P	P		P	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Permitted if the public agency use (e.g. office, outdoor storage, etc.) is permitted in zoning district; UP otherwise.
- (3) These uses are prohibited on ground floor spaces along Commercial Row. See Section 18.20.070.

**TABLE 2-8 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR DOWNTOWN COMMERCIAL AND MANUFACTURING DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT				See standards in Section:
	DMU	DC	DM	DVL	

TEMPORARY USES

Commercial filming	TUP	TUP	TUP	TUP	18.62
Off-site contractor's construction yard	TUP (3)	TUP	TUP	TUP	18.62
Offices, temporary	TUP	TUP	TUP	TUP	18.62
On-site material processing		TUP	TUP	TUP	18.62
On-site soil remediation activities	TUP (3)	TUP	TUP	TUP	18.62
Outdoor retail sales, temporary	TUP	TUP	TUP	TUP	18.62
Seasonal sales lot	TUP (3)	TUP	TUP	TUP	18.62
Temporary events, non-profit organization	TUP	TUP	TUP	TUP	18.62
Temporary work trailers	TUP (3)	TUP	TUP	TUP	18.62

TRANSPORTATION, INFRASTRUCTURE & COMMUNICATIONS USES

Broadcasting studios	P (3)	P			
Commercial Parking and vehicle storage	UP (3)	UP	UP	UP	
Electrical utility facilities	UP (3)	UP	UP	UP	18.58.114
Pipelines	UP	UP	UP	UP	
Railroad and railroad-related operations (2)					
Telecommunications facilities (4)	UP (3)	UP	UP	UP	18.58.250
Tow yard			UP		18.58.200
Transit stations and terminals	P	P		P	
Transit stop shelters	P	P	P	P	
Utility lines	P	P	P	P	
Vehicle and freight terminals			UP		

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for projects with less than 5,000 sq. ft. of floor area and less than 26,000 sq. ft. of site disturbance.	18.72
DP	Development Permit required for permitted projects with 5,000 sq. ft. or more of floor area or 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Railroad and railroad-related operations, activities, and facilities within the Union Pacific Railroad right-of-way and operating properties are not subject to the land use permit and development standards of the Development Code.
- (3) These uses are prohibited on ground floor spaces along Commercial Row. See Section 18.20.070.
- (4) Permit requirements vary by type of facility. See Section 18.58.250 (Telecommunications Facilities).

18.12.040 - Commercial and Manufacturing District General Development Standards

Subdivisions, new land uses and structures, and alterations to existing land uses and structures shall be designed, constructed and/or established in compliance with the requirements in Table 2-8, in addition to any other applicable requirements of this Chapter, and the development standards (e.g., landscaping, parking and loading, etc.) in Article III (Site Planning and General Development Standards).

**TABLE 2-9
COMMERCIAL AND MANUFACTURING DISTRICT
GENERAL DEVELOPMENT STANDARDS**

Development Feature	Requirement by Zoning District		
	CN	CG	CH
Setbacks required	None, except as may be required through land use permit conditions of approval to address screening, landscaping, design guidelines and other land use and visual compatibility issues.		
Floor Area Ratio (FAR)	0.20; See 18.12.050 (FAR Criteria) for possible FAR increases.		
Site coverage (1)	70% maximum.		
Open space	20% or in compliance with 18.46 (Open Space/Cluster Requirements), whichever is greatest.		
Height limit (2)	50 ft. or 3½ stories, whichever is less.		
Landscaping	As required by Chapter 18.40 (Landscape Standards).		
Mixed Use Component	As required by Section 18.12.060 (Mixed Use Component).		
Outdoor activities	All sales, displays and storage shall be conducted within an enclosed building, unless outdoor activities are approved in compliance with 18.58.190 (Outdoor Display and Sales Standards) and 18.58.200 (Outdoor Storage and Work Areas).		
Parking and loading	As required by Chapter 18.48 (Parking and Loading Standards).		
Signs	As required by Chapter 18.54 (Signs).		

Notes:

- (1) Maximum percentage of net site area that may be covered with structures and pavement. See the definition of site coverage in Chapter 18.220 (Definitions, Glossary).
- (2) Maximum allowable height for structures. See 18.30.090 (Height Measurement and Height Limit Exceptions).

Continues on next page.

**TABLE 2-9
COMMERCIAL AND MANUFACTURING DISTRICT
GENERAL DEVELOPMENT STANDARDS (Continued)**

Development Feature	Requirement by Zoning District	
	CS	M
Setbacks required	None, except as may be required through land use permit conditions of approval to address screening, landscaping, design guidelines and other land use and visual compatibility issues.	
Floor Area Ratio (FAR)	0.20; See 18.12.050 (FAR Criteria) for possible FAR increases.	
Site coverage (1)	70% maximum.	
Mixed Use Component	As required by Section 18.12.060 (Mixed Use Component).	
Open space	20% or in compliance with 18.46 (Open Space/Cluster Requirements), whichever is greatest.	
Height limit (2)	50 ft. or 3½ stories, whichever is less.	
Landscaping	As required by Chapter 18.40 (Landscape Standards).	
Outdoor activities	All sales, displays and storage shall be conducted within an enclosed building, unless outdoor activities are approved in compliance with 18.58.190 (Outdoor Display and Sales Standards) and 18.58.200 (Outdoor Storage and Work Areas).	
Parking and loading	As required by Chapter 18.48 (Parking and Loading).	
Signs	As required by Chapter 18.54 (Signs).	

Notes:

- (1) Maximum percentage of net site area that may be covered with structures and pavement. See the definition of site coverage in Chapter 18.220 (Definitions, Glossary).
- (2) Maximum allowable height for structures. See 18.30.090 (Height Measurement and Height Limit Exceptions).

Continues on next page.

**TABLE 2-9
COMMERCIAL AND MANUFACTURING DISTRICT
GENERAL DEVELOPMENT STANDARDS (Continued)**

Development Feature	Requirement by Zoning District			
	DMU	DC	DVL	DM
Setbacks required	Minimum setbacks required unless otherwise shown on the Zoning Map, Subdivision Map or Planned Development. See 18.30.120 (Setback Requirements and Exceptions) for setback measurement, allowed projections into setbacks and exceptions to required setbacks.			
Front	Edge of the existing or future sidewalk improvement as determined by the Town Engineer.		15 ft. from property lines adjacent to State Highway 267.	25 ft.
Sides (each)	None required.		15 ft.; 100 ft. from Truckee Cemetery property lines (4).	None required.
Street-side	Edge of the existing or future sidewalk improvement as determined by the Town Engineer.		125 ft. from property lines adjacent to Interstate 80 (4).	Edge of the existing or future sidewalk improvement as determined by the Town Engineer.
Rear	None required.		15 ft.; 100 ft. from Truckee Cemetery property lines (4).	
Floor Area Ratio (FAR)	No maximum FAR requirement.		0.25 (1)	No maximum FAR requirement.
Site coverage (2)	No maximum.		50% maximum. (4)	75% maximum.
Height limit (3)	50 ft. or 3½ stories, whichever is less.			
Landscaping	As required by Chapter 18.40 (Landscaping Standards).			
Outdoor activities	All sales, displays and storage shall be conducted within an enclosed building, unless outdoor activities are approved in compliance with 18.58.190 (Outdoor Display and Sales Standards) and 18.58.200 (Outdoor Storage and Work Areas).			
Parking and loading	As required by Chapter 18.48 (Off-Street Parking and Loading).			
Signs	As required by Chapter 18.54 (Signs).			

Continues on next page.

**TABLE 2-9
COMMERCIAL AND MANUFACTURING DISTRICT
GENERAL DEVELOPMENT STANDARDS (Continued)**

Notes:

- (1) The total allocation of FAR may be used for a visitor lodging facility. Additional uses may be approved based on the following standards:
 - (a) Seven percent (7%) of the available FAR may be used for one table service restaurant. This restaurant must be constructed in conjunction with a lodging project, but the restaurant floor area is not subject to the proportion requirement described in Note (1)(b) below.
 - (b) In addition to the restaurant described in Note (1)(a), commercial development consistent with the allowed uses for the DVL district in Table 2-7 may be approved. The floor area of this commercial development shall be counted towards the available FAR and shall be phased in proportion to the amount of lodging floor area. The floor area allowed for commercial development in any phase of development on the property shall be no greater than 16% of the lodging floor area within the same phase.
 - (c) Additional floor area above the 0.25 FAR, up to a maximum of 3,500 square feet, may be allocated to the site for the construction of a visitor center.
 - (d) For projects with a high-density residential (Multi-family dwellings, 11 and more units), the residential components shall not count towards the FAR calculation.
- (2) Maximum percentage of net site area that may be covered with structures and pavement. See the definition of site coverage in Chapter 18.220 (Definitions, Glossary).
- (3) Maximum allowable height for structures. See 18.30.090 (Height Measurement and Height Limit Exceptions).
- (4) For projects with high-density residential (Multi-family dwellings, 11 and more units) in the DVL district, refer to 18.58.180 (Multi-Family Residential Projects) for potential incentives for development standards.

18.12.050 - Floor Area Ratio Criteria

The review authority may increase the floor area ratio (FAR) requirements established by Table 2-8 for the CN, CG, CH, CS and M zoning districts to a maximum of 0.35, subject to the following findings and standards:

- A. The review authority may approve a FAR increase, with or without conditions, only if all of the following findings can be made:
 1. The FAR increase is proportional to the public benefit provided by the project, including exemplary design and environmental sensitivity, and compliance with the other provisions of this Section;
 2. The increased project intensity will not create unmitigatable traffic circulation impacts in the site vicinity or elsewhere in the Town; and
 3. The subject site is physically suitable for and adequate in size and shape to accommodate the type and intensity of development being proposed.
- B. The review authority may increase the FAR by 0.05, or 2,178 square feet per acre, up to a maximum of 0.35, for each/any of the following project features:
 1. The primary use of the site is for lodging;

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2. The project is a mixed-use development that complies with the eligibility requirements of Section 18.58.140.C (Eligibility for mixed-use development incentives);
 3. The site is within the preferred infill area shown on Sheet 28 of the Town Zoning Map;
 4. Lands are dedicated for public open space, public access and/or public recreation beyond that necessary for the project;
 5. The project will provide enhanced public facilities which are needed by the Town beyond those necessary for the project or required for the project as mitigation measures (for example, transit facilities);
 6. The project is a development with commercial and/or industrial uses that contain one or more businesses that support other businesses within the development and reduce traffic and parking demand for the development to an extent greater than that generated by the increased floor space. The review authority may require traffic and/or parking analyses to support this finding; and/or
 7. The project incorporates transportation control measures that reduce traffic and parking demand for the development to an extent greater than that generated by the increased floor space. The review authority may require traffic and/or parking analyses to support this finding.
 8. An in-lieu fee is paid in accordance with Council Resolution No. 2002-50 as amended.
 9. Public art valued at one percent or more of the private development costs for new construction.
- C. Residential floor space within mixed use developments and work/live spaces shall not be counted toward the maximum allowed FAR.

18.12.060 - Mixed Use Component

All land uses and projects proposed in the CN, CG, CS and M zoning districts having a single tenant or business with 20,000 square feet or more of floor space shall include a mixed-use component as follows:

- A. A project with a single retail, service or office tenant or business of over 20,000 square feet of floor space shall include other retail, office and/or restaurant tenants and businesses equal to 30% of the floor space of the project. The project shall also include a minimum of two residential units for the first 40,000 square feet of floor space, or fraction thereof, of the project and one additional residential unit for each 10,000 square feet of floor space, or fraction thereof, thereafter.
- B. A project with a single industrial tenant or business of over 20,000 square feet of floor space shall include other retail, office, restaurant and/or industrial tenants and businesses equal to 30% of the floor space of the project.
- C. Land uses and projects with a required mixed use component are eligible to receive incentives in accordance with Section 18.58.140 (Mixed Use Development).

18.12.070 - Downtown Commercial District Development Standards

- A. In-lieu parking fees.** A parking impact fee may be paid at the discretion of the Director for uses in the DMU and DC districts in lieu of complying with Section 18.48.040 (Number of Parking Spaces Required). The amount of the impact fee per parking space shall be set by Town Council resolution.
- B. In-lieu bicycle parking fees.** A bicycle parking impact fee may be paid at the discretion of the Director for uses in the DMU and DC districts in lieu of complying with Section 18.48.090 (Bicycle Parking and Support Facilities). The amount of the impact fee per bicycle parking space shall be set by Town Council resolution.
- C. In-lieu frontage improvement fees.** The Director may require the payment of a frontage improvement fee for uses in the DMU and DC districts in lieu of actual construction of frontage improvements required by Section 18.30.020.B (Access). The amount of the improvement fee shall be determined by the Town Engineer based on the costs to construct the required frontage improvements.
- D. Commercial Row land use limitations.** In general, most non-retail related uses are prohibited in ground floor spaces along Commercial Row, but are allowed in second and third floor spaces. These limitations are further outlined under Section 18.20.070 (Commercial Row Overlay District.)

18.12.080 - Commercial and Manufacturing Zoning District Performance Standards

All land uses proposed in the Commercial and Manufacturing zoning districts shall be operated and maintained so as to not be injurious to public health, safety or welfare, and shall comply with the following standards.

- A. Air emissions.** No approved land use shall generate or cause any visible dust, gasses or smoke to be emitted into the atmosphere, except in accordance with the air quality regulations of the Northern Sierra Air Quality Management District and the California Air Resources Board or for the operation of motor vehicles on the site.
- B. Glare and heat.** No direct or sky-reflected glare or heat, whether from floodlights or from high temperature processes (including combustion or welding or otherwise), shall be visible or felt at the property line.
- C. Ground vibration.** No approved land use shall generate ground vibration perceptible without instruments at any point along or outside of the property line of the use, except for motor vehicle operations.
- D. Odor.** No approved land use shall generate or emit any obnoxious odor or fumes perceptible at the property line.
- E. Sewer requirement.** No land use shall be approved with on-site sewage disposal. Connection to sewer shall be required. Any new land use established on a site must provide access to onsite restrooms that are connected to the sewer system. Uses that utilize a septic system, portable toilets or offsite restrooms for a permanent land use shall be prohibited.

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- a. **Exceptions.** Portable toilets (e.g., port-a-potties) may be used on a temporary basis during construction only when the site has an active building permit.

18.12.090 - Retail Trade Uses

A retail trade use or business as listed in Tables 2-6 and 2-7 shall not exceed 40,000 square feet of gross floor space. This restriction on the maximum gross floor space of a retail trade use or business shall not be adjusted or modified by the approval of a planned development, specific plan or master plan.

CHAPTER 18.16 - SPECIAL PURPOSE ZONING DISTRICTS

Sections:

- 18.16.010 - Purpose of Chapter
- 18.16.020 - Purposes of Special Purpose Zoning Districts
- 18.16.030 - Special Purpose District Land Uses and Permit Requirements
- 18.16.040 - Special Purpose District General Development Standards
- 18.16.050 - RC (Resource Conservation) District Development Standards
- 18.16.060 - PC (Planned Community) District Development Standards
- 18.16.070 - REC (Recreation) District Development Standards
- 18.16.080 - DMP (Downtown Master Plan) District Development Standards
- 18.16.090 - Special Purpose District Performance Standards

18.16.010 - Purpose of Chapter

This Chapter regulates development and new land uses in the special purpose zoning districts established by Section 18.06.020 (Zoning Districts Established).

18.16.020 - Purposes of Special Purpose Zoning Districts

The purposes of the individual special purpose zoning districts and the manner in which they are applied are as follows:

- A. OS (Open Space) District.** The OS zoning district is applied to areas of the Town with significant natural resources, including forest land, rangeland, mineral resources and areas suitable for passive recreational uses. The intent of this zoning district is to: designate areas for permanent protection of open space; maintain environmentally sensitive areas; preserve wildlife habitat and corridors, and scenic views. The OS zoning district is consistent with all land use classifications of the General Plan.
- B. RC (Resource Conservation) District.** The RC zoning district is applied to areas appropriate for protection as open space because of significant environmental resources, but where limited development may be appropriate if clustered. Land uses in this zoning district include open space, passive recreational uses and single-family homes. Development will be clustered and/or integrated with the natural environment to minimize site disturbances, and to preserve open space and other significant natural resources. The RC zoning district is consistent with the Resource Conservation/Open Space (RC/OS) land use classification of the General Plan.
- C. REC (Recreation) District.** The REC zoning district is applied to areas appropriate for active recreational activities that would be compatible with natural resource areas. Allowed uses include camping, skiing, golfing, clustered lodging, residences and support services. The REC zoning district is consistent with the Open Space Recreation (OSR), Resource Conservation/Open Space (RC/OS), Residential (RES) and Tahoe Donner PC land use classifications of the General Plan.
- D. PF (Public Facilities) District.** The PF zoning district is applied to areas appropriate for public, institutional and auxiliary uses that are established in response to the recreational,

safety, cultural and welfare needs of the Town. Allowable land uses may include public parks and facilities, schools, hospitals and government offices, and other appropriate uses for public agencies. The PF zoning district is consistent with the Public and Public, Hospital/Offices land use classifications of the General Plan and on public lands in other land use classifications.

- E. PC (Planned Community) District.** The PC zoning district applies to specific subareas identified in the General Plan that define the type, amount and mixture of land uses allowed. The subareas include development of residential, commercial, recreational, mixed use and industrial uses. The PC zoning district is consistent with the Special Study Area and PC-1, PC-2 and PC-3 land use classifications of the General Plan.
- F. DMP (Downtown Master Plan) District.** The Downtown Master Plan zoning district applies to specific subareas identified in the Downtown Specific Plan that define the type, amount and mixture of land use allowed. The subareas include development of residential, commercial and mixed uses. The intent of this zoning district is to provide for development in Master Plan Areas consistent with the applicable policies and land uses identified for the Master Plan Areas in the Specific Plan. The DMP zoning district is consistent with the Master Plan Area land use classification of the Downtown Specific Plan.
- G. DRR (Downtown Railroad) District.** The Downtown Railroad zoning district applies to portions of the Union Pacific Railroad right-of-way and operating properties within the Downtown Study Area which are not considered suitable for lease or sale to private parties for new non-railroad related land uses. The intent of this zoning district is to identify lands which are limited to land uses dedicated to railroad and railroad related operations and facilities, and surface and subsurface utility lines, utility related installations and other subsurface uses.

18.16.030 - Special Purpose District Land Uses and Permit Requirements

- A. General requirements.** Table 2-9 identifies the uses of land allowed by this Development Code in each special purpose zoning district and the land use permit required to establish each use, in compliance with Section 18.06.040.B (Zoning District Regulations).

Note: Where the last column in the tables (“See Standards in Section”) includes a section number, the regulations in the referenced section apply to the use; however, provisions in other sections of this Development Code may also apply.

- B. Requirements for the PC (Planned Community) District.** In advance of Specific Plan approval, interim uses within the PC zoning district shall be limited to those allowed by this Chapter within the RC zoning district except golf courses and clubhouses, subject to the same land use permit requirements as the uses within the RC district.
- C. Requirements for the DMP (Downtown Master Plan) District.** In advance of Master Plan approval, the following interim uses within the DMP zoning district shall be permitted uses:
1. A single-family dwelling on an existing parcel not owned by Union Pacific Railroad;
 2. Improvements and land uses necessary for railroad operations on railroad owned property;

3. Operation of existing legally approved uses, subject to the non-conforming use provisions set forth in Chapter 18.130 (Nonconforming Uses, Structures and Parcels);
 4. Public parking lots and appurtenant uses; and
 5. Expansion of up to 25 percent of the floor area of existing non-residential land uses.
- D. Density for the Truckee River (Bright Property) Downtown Master Plan Area.** The density guideline for the Truckee River (Bright Property) Downtown Master Plan Area is 40 single-family residential units. Multi-family residential may be allowed at a density of two units in place of one single-family residential unit. Lodging units may be allowed at a density of three lodging units in place of one single-family residential unit.
- E. Activities within railroad rights-of-way.** Railroad and railroad-related operations, activities and facilities within the Union Pacific railroad right-of-way and operating properties are not subject to the requirements of this Development Code.

**TABLE 2-10 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR SPECIAL PURPOSE DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	OS	RC	REC	PF	DRR	

AGRICULTURE, RESOURCE & OPEN SPACE USES

Agricultural accessory structures	P	MUP				18.58.060
Agricultural processing uses		UP				
Animal raising and keeping of livestock, other large animals, fowl and other small animals and birds	P(2)	P(2)	P(2)			18.58.060
Crop production	P	P				
Fisheries and game reserves	P	P	P	P		
Mining and quarrying		UP		UP		
Nature reserves	P	P	P	P		
Trails	P	P	P	P		

MANUFACTURING & PROCESSING USES

Recycling - Composting				UP		18.58.210
Recycling - Large collection facility				UP		18.58.210
Recycling - Reverse vending machines				UP		18.58.210
Recycling - Small collection facility				UP		18.58.210

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for less than 7,500 sq. ft. of floor area outside of the Downtown zoning districts, less than 5,000 sq. ft. of floor area within the Downtown zoning districts, and when a project in either area has site disturbance less than 26,000 sq. ft.	18.72
DP	Development Permit required for 7,500 sq. ft. or more of floor area outside of the Downtown zoning districts, 5,000 sq. ft. or more of floor area inside the Downtown zoning districts, and projects within both areas causing 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Section 18.58.060 (Animal Raising and Keeping) may require a Minor Use Permit for certain animals and household pets, the raising and keeping of animals or household pets over a certain number, and/or the raising and keeping of animals on small parcels.

Continues on next page.

**TABLE 2-10 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR SPECIAL PURPOSE DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	OS	RC	REC	PF	DRR	

RECREATION, EDUCATION & PUBLIC ASSEMBLY USES

Campgrounds		UP	UP	UP		
Community centers			UP	UP		
Docks and piers, commercial		MUP	MUP	P(2)		
Equestrian facilities, commercial or public			UP			18.58.060
Golf courses and country clubs		UP	UP	UP(2)		
Golf driving range			UP			
Health/fitness facilities			UP			
Hunting and fishing clubs	MUP	MUP	UP			
Ice skating rinks			UP	P		
Libraries and museums				P(3)		
Marina		MUP	UP	P(2)		
Outdoor commercial recreation			UP	P(2)		
Parks and playgrounds	MUP		P	P(2)		
Private residential recreational facilities			UP			
Public Assembly Uses		UP	UP	UP		18.58.090
Recreational vehicle (RV) parks			UP			
Religious retreats and organizational camps			UP			
Rural recreation facilities			UP	P(2)		
Schools - Public and private				P(2)		
Schools - Specialized education and training				P(2)		
Seasonal park caretaker				P		
Ski lift facilities and ski runs			UP			
Sport facilities/outdoor entertainment				P(2)		
Theaters and event spaces				P(2)		

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for less than 7,500 sq. ft. of floor area outside of the Downtown zoning districts, less than 5,000 sq. ft. of floor area within the Downtown zoning districts, and when a project in either area has site disturbance less than 26,000 sq. ft.	18.72
DP	Development Permit required for 7,500 sq. ft. or more of floor outside of the Downtown zoning districts, 5,000 sq. ft. or more of floor area inside the Downtown zoning districts, and projects within both areas causing 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Use must be operated by a public agency.
- (3) Use must be operated by a public agency or nonprofit approved by the Town that operates similar to a public agency.

TABLE 2-10 - ALLOWED USES AND PERMIT REQUIREMENTS FOR SPECIAL PURPOSE DISTRICTS (Continued)

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	OS	RC	REC	PF	DRR	
RESIDENTIAL USES (3)						
Accessory dwelling units		P	P			18.58.025
Animal raising and keeping of household pets and backyard chickens		P(2)	P(2)			18.58.060
Caretaker housing			P			
Detached living areas		MUP	P			18.58.100
Employee housing		MUP(4)	P(4)			
Farmworker housing, up to 12 units or 36 beds in group quarters	P(5)	P(5)				
Manufactured home		MUP	P			18.58.170
Junior Accessory Dwelling Units		P	P			18.58.025.N
Mobile home as temporary construction residence		P	P			
Residential care homes, 7 to 12		UP				
Single-family dwellings		MUP	P			
Supportive housing		MUP(4)	P(4)			18.58.255
Transient rental, single-family dwellings		P	P			
Transitional housing		MUP(4)	P(4)			
RETAIL TRADE USES						
Accessory retail uses			MUP			18.58.030
Alcoholic beverage sales, other than beer and wine			MUP			
Bars and drinking establishments			MUP			
Convenience stores			MUP			
Restaurants, table service			UP			

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for less than 7,500 sq. ft. of floor area outside of the Downtown zoning districts, less than 5,000 sq. ft. of floor area within the Downtown zoning districts, and when a project in either area has site disturbance less than 26,000 sq. ft.	18.72
DP	Development Permit required for 7,500 sq. ft. or more of floor area outside of the Downtown zoning districts, 5,000 sq. ft. or more of floor area inside the Downtown zoning districts, and projects within both areas causing 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Section 18.58.060 (Animal Raising and Keeping) may require a Minor Use Permit for certain animals and household pets, the raising and keeping of animals or household pets over a certain number, and/or the raising and keeping of animals on small parcels.
- (3) Retail trade businesses shall comply with the floor space standards in Section 18.12.090 (retail trade Uses).
- (4) Employee, supportive, and transitional housing are subject to the same regulations that apply to other residential uses of the same type in that zone.
- (5) Farmworker housing is subject to the same regulations that apply to other agricultural uses in the same zone.

Continues on next page.

**TABLE 2-10 - ALLOWED USES AND PERMIT REQUIREMENTS
FOR SPECIAL PURPOSE DISTRICTS (Continued)**

LAND USE (1)	PERMIT REQUIREMENT BY DISTRICT					See standards in Section:
	OS	RC	REC	PF	DRR	
SERVICE USES						
Bed and breakfast inns		UP	UP			18.58.070
Cemeteries and columbariums				UP(2)		
Child day care centers				P		18.58.080
Child day care, large family day care homes		MUP				18.58.080
Hotels and motels			UP			
Medical services - Clinics and labs				P(2)		
Medical services - Extended care				P(2)		
Medical services - Hospitals				P(2)		
Offices, accessory to primary use			P	P(2)		
Public buildings and structures				P		
Public safety and utility facilities		MUP(3)	MUP	P		
Residential care facilities				P(2)		

TEMPORARY USES						
Commercial filming	TUP	TUP	TUP	P		18.62
Temporary events, public property				P		18.62

TRANSPORTATION, INFRASTRUCTURE & COMMUNICATIONS USES						
Commercial parking and vehicle storage				P		
Electrical utility facilities	UP	UP	UP	UP	UP	18.58.114
Heliport				UP		
Pipelines	UP	UP	UP	UP	UP	
Railroad and railroad related operations (3)					P	
Telecommunications facilities (4)	UP	UP	UP	UP	UP	18.58.250
Utility lines	MUP	P	P	P	P	

KEY TO PERMIT REQUIREMENTS

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Zoning Clearance required for less than 7,500 sq. ft. of floor area outside of the Downtown zoning districts, less than 5,000 sq. ft. of floor area within the Downtown zoning districts, and when a project in either are has site disturbance less than 26,000 sq. ft.	18.72
DP	Development Permit required for 7,500 sq. ft. or more of floor area outside of the Downtown zoning districts, 5,000 sq. ft. or more of floor area inside the Downtown zoning districts, and projects within both areas causing 26,000 sq. ft. or more of site disturbance.	18.74
MUP	Conditional use, Minor Use Permit approval required.	18.76
UP	Conditional use, Use Permit approval required.	18.76
TUP	Temporary use, Temporary Use Permit approval required.	18.80
	Use not allowed. See 18.03.020.E regarding uses not listed.	

Notes:

- (1) Definitions of the listed land uses are in Chapter 18.220 (Definitions, Glossary).
- (2) Use must be operated by a public agency.
- (3) Railroad and railroad-related operations, activities, and facilities within the Union Pacific Railroad right-of-way and operating properties are not subject to the land use permit and development standards of the Development Code.
- (4) Permit requirements vary by type of facility. See Section 18.58.250 (Telecommunications Facilities).

18.16.040 - Special Purpose District General Development Standards

Subdivisions, new land uses and structures, and alterations to existing land uses and structures shall be designed, constructed and/or established in compliance with the requirements in Table 2-10, in addition to any other applicable requirements of this Chapter and the development standards (e.g., landscaping, parking and loading, etc.) in Article III (Site Planning and General Development Standards).

**TABLE 2-11
SPECIAL PURPOSE DISTRICT GENERAL DEVELOPMENT STANDARDS**

Development Feature	Requirement by Zoning District	
	OS	RC
Minimum lot size	Determined through the subdivision process.	80 acres
Residential density (1)	None allowed.	1 single-family unit per lot, one accessory dwelling unit, and one junior accessory dwelling unit in compliance with 18.58.025 (Accessory Dwelling Units).
Setbacks required	Minimum setbacks required unless otherwise shown on the Zoning Map, Subdivision Map or Planned Development. See 18.30.120 (Setback Requirements and Exceptions) for setback measurement, allowed projections into setbacks and exceptions to required setbacks.	
Front	30 ft.	30 ft.
Sides (each)	30 ft.	30 ft.; 10 ft. on parcels less than 3 acres
Street-side	Same as front.	
Rear	30 ft.	30 ft.; 20 ft. on parcels less than 3 acres
Clustered development	Required in compliance with 18.46 (Open Space/Cluster Requirements).	
Site coverage (2)	5% maximum.	20% maximum; 40% maximum on parcels less than 3 acres.
Open space	Permanent open space shall be provided in compliance with 18.46 (Open Space/Cluster Requirements).	
Height limit (3)	24 ft.	35 ft. or 3½ stories, whichever is less.
Landscaping	As required by Chapter 18.40 (Landscape Standards).	
Parking and loading	As required by Chapter 18.48 (Parking and Loading Standards).	

Notes:

- (1) Maximum number of dwelling units allowed.
- (2) Maximum percentage of net site area that may be covered with structures and pavement. See the definition of site coverage in Chapter 18.220 (Definitions, Glossary).
- (3) Maximum allowable height for structures. See 18.30.090 (Height Measurement and Height Limit Exceptions).

**TABLE 2-11
SPECIAL PURPOSE DISTRICT GENERAL DEVELOPMENT STANDARDS (Continued)**

Development Feature	Requirement by Zoning District	
	REC	PF
Minimum lot size (1)	3 acres. The total number of lots that may be allowed is one lot per 10 acres in area.	Determined through subdivision process.
Residential density (2)	1 single-family unit per lot, one accessory dwelling unit, and one junior accessory dwelling unit in compliance with 18.58.025 (Accessory Dwelling Units).	Determined through land use permit process.
Setbacks required	Minimum setbacks required unless otherwise shown on the Zoning Map. See 18.30.120 (Setback Requirements and Exceptions) for setback measurement, allowed projections into setbacks and exceptions to required setbacks.	
Front	20 ft.; 30 ft. on lots of 3 acres or larger.	
Sides (each)	20 ft; 30 ft. on lots of 3 acres or larger.	Determined through land use permit process.
Street-side	15 ft.; 30 ft. on lots of 3 acres or larger.	
Rear	20 ft.; 30 ft. on lots of 3 acres or larger	
Clustered development	Required in compliance with 18.46 (Open Space/Cluster Requirements).	
Site coverage (3)	40%, maximum.	
Open space	Permanent open space shall be provided in compliance with 18.46 (Open Space/Cluster Requirements).	
Height limit (4)	35 ft. or 3½ stories, whichever is less.	
Landscaping	As required by Chapter 18.40 (Landscaping).	
Parking and loading	As required by Chapter 18.48 (Off-Street Parking and Loading).	
Signs	As required by Chapter 18.54 (Signs).	

Notes:

- (1) Clustered residential projects, condominiums, townhomes or planned development projects may be subdivided with smaller parcel sizes and lot widths for ownership purposes, with the minimum lot area requirement determined through the subdivision review process.
- (2) Maximum number of dwelling units allowed for each specified unit of land, except where a different density is established by 18.08.050 (Minimum Lot Area and Maximum Density). The approval of a Tentative Map, Planned Development, Development Permit, Minor Use Permit or Use Permit may result in fewer dwelling units being allowed than the maximum density shown. See also Chapter 18.212 (Density Bonuses, Concessions and Incentives) for possible density bonuses.
- (3) Maximum percentage of net site area that may be covered with structures and pavement. See the definition of site coverage in Chapter 18.220 (Definitions, Glossary).
- (4) Maximum allowable height for structures. See 18.30.090 (Height Measurement and Height Limit Exceptions).

18.16.050 - RC (Resource Conservation) District Development Standards

Proposed subdivisions and other development and new land uses within the RC (Resource Conservation) zoning district shall be designed so that proposed structures and facilities are clustered, in compliance with 18.46 (Open Space/Cluster Requirements).

18.16.060 - PC (Planned Community) District Development Standards

Standards for proposed development and new land uses within a PC (Planned Community) zoning district shall be determined by the applicable Specific Plan.

18.16.070 - REC (Recreation) District Development Standards

Proposed subdivisions and other development and new land uses within the REC (Recreation) zoning district shall be designed so that proposed structures and facilities are clustered, in compliance with 18.46 (Open Space/Cluster Requirements).

18.16.080 - DMP (Downtown Master Plan) District Development Standards

- A. Development standards.** Standards for proposed development and new land uses within a DMP (Downtown Master Plan) zoning district shall be determined by the applicable Master Plan. In advance of Master Plan approval, general development standards for interim uses allowed by Section 18.16.030.C (Requirements for DMP District) shall be as follows: for residential uses, the development standards shall be the same as the DRS zoning district; for commercial uses, the same as the DC zoning district; and for industrial uses, the same as the DM zoning district.
- B. Residential density bonus.** For each one-half acre of land contiguous to the Truckee River 100-year floodplain which is dedicated to the Town or other approved entity for public use as a riverfront recreational corridor, a density bonus of one additional residential unit shall be provided. Portions of land within the 100-year floodplain shall not count towards the density bonus. In determining the configuration of land for dedication, the length of the dedicated property as measured along the river, shall not be less than the width of the property. This density bonus is voluntary and subject to the discretion of the property owner for implementation. The Town has a right to refuse the density bonus if it determines it has been incorrectly applied or misused.

18.16.090 – Special Purpose District Performance Standards

All land uses proposed in a Special Purpose District shall be operated and maintained so as to not be injurious to public health, safety or welfare, and shall comply with the following standards:

- A. Sewer Requirement.** No land use shall be approved with on-site sewage disposal. Connection to sewer shall be required.
- B. Exceptions.** Residential subdivisions creating four or less parcels may use on-site septic systems with the approval of the appropriate health and environmental agencies and if approved by the review authority.

CHAPTER 18.20 - OVERLAY ZONING DISTRICTS

Sections:

- 18.20.010 - Purpose of Chapter
- 18.20.020 - Applicability
- 18.20.030 - Airport Operations (-AO) Overlay District
- 18.20.040 - Historic Preservation (-HP) Overlay District
- 18.20.050 - River Protection (-RP) Overlay District
- 18.20.060 - Snow Avalanche (-SA) Overlay District
- 18.20.070 - Commercial Row (-CR) Overlay District

18.20.010 - Purpose of Chapter

The overlay zoning districts established by this Chapter provide guidance for development and new land uses in addition to the standards and regulations of the primary zoning districts, where important site, neighborhood or compatibility issues require particular attention in project planning.

18.20.020 - Applicability

The applicability of any overlay zoning district to specific sites is shown by the overlay Zoning Map symbol established by Section 18.06.020 (Zoning Districts Established) being appended as a suffix to the symbol for the primary zoning district on the Zoning Map (for example, RS-1-SA). The provisions of this Chapter apply to proposed land uses and development in addition to all other applicable requirements of this Development Code. In the event of any perceived conflict between the provisions of this Chapter and any other provision of this Development Code, this Chapter shall control.

18.20.030 - Airport Operations (-AO) Overlay District

- A. Purpose.** The purpose of the Airport Operations (-AO) overlay district is to regulate land uses in the vicinity of the Truckee-Tahoe Airport and below areas where aircraft perform approach and departure maneuvers, recognizing that certain land uses and site development characteristics may conflict with the safe and efficient operation of airports and aircraft. The intent of this overlay district is to protect people and property both in the air and on the ground by regulating buildings and structures that may affect navigable airspace, consistent with Federal regulations, and to minimize noise and other conflicts between airport operations and surrounding land uses.

- B. Applicability.** The -AO overlay district may be combined with any residential, commercial, manufacturing/industrial or special purpose zoning district established by Section 18.06.020 (Zoning Districts Established). The -AO overlay district is established and shall be applied and shown on the Zoning Map to:
1. Areas below the imaginary surfaces above and around the airport established in compliance with the Federal Aviation Regulations, Volume XI, Part 77, of the U.S. Federal Aviation Administration (FAA);
 2. Safety areas surrounding the airport as identified in the Truckee-Tahoe Airport Comprehensive Land Use Plan adopted and as amended by the Foothill Airport Land Use Commission; and
 3. Areas subject to high noise levels from aircraft operations.
- C. Allowed land uses and development standards.** Any land use normally allowed in the primary zoning district by this Article may be allowed within the -AO overlay district subject to compliance with the height, safety and noise restrictions established by Chapter 18.64 (Truckee-Tahoe Airport Area Restrictions), all applicable requirements of the primary zoning district, and all other applicable provisions of this Development Code.
- D. Permit requirements.** Development and new land uses within the -AO overlay district shall obtain the land use permits required by this Article for the primary zoning district.

18.20.040 - Historic Preservation (-HP) Overlay District

- A. Purpose.** The -HP overlay district is intended to safeguard the Town's unique cultural heritage as embodied and reflected in the Town's architectural history and patterns of cultural development; to preserve diverse architectural styles, patterns of development and design preferences reflecting phases of the Town's history and to encourage complementary contemporary design and construction and inspire a more livable urban environment; to protect and enhance the Town's attraction to tourists and visitors, thereby stimulating business and industry; to identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land uses; and to integrate the preservation of cultural resources into public and private land use management and development processes. Development standards and guidelines for this district address new development, alterations, additions and modifications to existing buildings and structures, demolition of historic buildings and structures, and the identification and protection of subsurface historic and archaeological resources.
- B. Applicability.**
1. The -HP overlay district may be combined with any residential, commercial, manufacturing/industrial or special purpose zoning district established by Section 18.06.020 (Zoning Districts Established). The -HP overlay district is established and shall be applied and shown on the Zoning Map to those areas of the Downtown Specific Plan Area with concentrations of historic buildings and structures that contribute to the downtown's historic character.

2. The -HP overlay district and the requirements of this section shall not apply to railroad and railroad-related operations, activities and facilities within the Union Pacific Railroad right-of-way and operating properties if the application of such requirements would interfere with the railroad, railroad-related operation, activity or facility.
- C. Allowed land uses.** Any land use normally allowed in the primary zoning district may be allowed within the -HP overlay district, except as provided for in Subsection G (Special Use Standards for Historic Resources).
- D. Permit requirements.** Proposed development and new land uses within the -HP overlay district shall obtain the land use permits required by this Article for the primary zoning district.
- E. Development standards.** Proposed development and new land uses within the -HP overlay district shall comply with all applicable requirements of the primary zoning district, all other applicable provisions of this Development Code, the applicable requirements of Chapter 18.26 (Historic Preservation Design Guidelines), and the following requirements:
1. Metal cargo storage, shipping, and box containers and similar storage containers shall be prohibited in the -HP overlay district, except as allowed in compliance with the requirements of Chapter 18.62 (Temporary Uses and Events).
- F. Demolition or destruction.** No historic resource, or portion thereof, shall be relocated, moved, torn down or demolished, except in compliance with the requirements of Chapter 18.83 (Demolition Review).
- G. Special use standards for historic resources.** To encourage preservation of historic resources, the following land use incentives are provided for historic resources:
1. **Additional density in DRS and DRM districts.** Historic resources in these districts may be used as multi-family dwelling structures, up to a maximum of one dwelling unit for each 1,000 square feet of site area. The historic resource may be expanded and new floor area used for additional dwelling units if the expansion is approved through the historic design review procedure and when it is determined by the review authority that the historic resource is being preserved or will retain its integrity as an historic resource. Any improvements, alterations, or modifications made through the use of this incentive shall not cause the survey rating category of the historic resource to be downgraded and shall comply with all applicable provisions of the Development Code unless a Historic Variance is approved in compliance with Section 18.82.050 (Historic Variances).
 2. **Additional density in DRH district.** Historic resources located in this district may be used as multi-family dwelling structures with no maximum density. All of the existing floor area of the historic resource may be used for dwelling units and accessory use. The historic resource may be expanded and new floor area used for additional dwelling units if the expansion is approved through the historic design review procedure and when it is determined by the review authority that the historic resource is being preserved or will retain its integrity as an historic resource. Any improvements, alterations or modifications made through the use of this incentive shall not cause the survey rating category of the historic resource to be downgraded and shall comply with all applicable

provisions of the Development Code unless a Historic Variance is approved in compliance with Section 18.82.050 (Historic Variances).

3. **Bed and breakfasts in DRS, DRM, DRH and DMP districts.** Bed and breakfasts shall be a permitted use in historic resources located in these districts subject to compliance with other applicable provisions of the Development Code and when it is determined by the review authority that the historic resource is being preserved or will retain its integrity as a historic resource. Guest rooms available for rent are limited to a maximum of five rooms. Any improvements, alterations or modifications made through the use of this incentive shall not cause the survey rating category of the historic resource to be downgraded and shall comply with all applicable provisions of the Development Code unless a Historic Variance is approved in compliance with Section 18.82.050 (Historic Variances).
 4. **Non-residential uses in DRS, DRM, DRH and DMP districts.** Historic resources located in these districts may be used for those commercial uses listed in the DMU district subject to compliance with the permit requirements and development standards of the DMU district and other applicable provisions of this Development Code and when it is determined by the review authority that the historic resource is being preserved or will retain its integrity as an historic resource. Any improvements, alterations or modifications made through the use of this incentive shall not cause the survey rating category of the historic resource to be downgraded and shall comply with all applicable provisions of the Development Code unless a Historic Variance is approved in compliance with Section 18.82.050 (Historic Variances).
 5. **Historic Variances.** Historic resources may be granted an historic variance to the development standards of this Development Code in compliance with Section 18.82.050 (Historic Variances).
- H. Duty to keep in good repair.** The owner, occupant or other person in charge of a historic resource or an improvement, building or structure in the -HP overlay district shall keep in good repair all of the exterior portions of such improvement, building or structure, and all interior portions thereof whose maintenance is necessary to prevent deterioration and decay of any exterior architectural feature. All such improvements, buildings or structures shall be preserved against such decay and be kept free from structural defects through the prompt repair of any of the following:
1. Facades which may fall and injure members of the public and property;
 2. Deteriorated or inadequate foundation, defective or deteriorated flooring or floor supports, deteriorated walls or other vertical structural supports;
 3. Members of ceilings, roofs, ceiling and roof supports, or other horizontal members which age, split or buckle due to defective material or deterioration;
 4. Deteriorated or ineffective waterproofing of exterior walls, roofs, foundations or floors, including broken windows or doors;

5. Defective or insufficient weather protection for exterior wall covering, including lack of paint or weathering due to lack of paint or other protective covering; and
6. Any fault or defect in the building which renders it not properly watertight or structurally unsafe.

It is the objective of these provisions to encourage the voluntary cooperation of responsible parties in maintaining improvements, buildings and structures in good repair and the prompt correction of violations. Informal notice may precede formal notice and other initial enforcement action set forth in Section 18.200.050 (Initial Enforcement Action). Often, the Code violation can be resolved as a result of informal notice, which saves time, money and resources for all persons involved.

18.20.050 - River Protection (-RP) Overlay District

- A. Purpose.** The -RP overlay district is intended for those areas of the Downtown Study Area adjacent to the Truckee River where sensitivity and special attention is required in project design, including but not limited to setbacks from the Truckee River, additional landscaping and screening to protect views from the river corridor, building designs compatible with the river's natural environment, preservation of public access to the river corridor, and protection of natural environmental features such as riparian vegetation, wetlands and wildlife habitat.
- B. Applicability.** The -RP overlay district may be combined with any Downtown residential, commercial, manufacturing/industrial or special purpose zoning district established by Section 18.06.020 (Zoning Districts Established).
- C. Allowed land uses and permit requirements.** Any land use normally allowed as a permitted or conditional use in the primary zoning district by this Article may be allowed within the -RP overlay district subject to approval of a use permit by the Planning Commission in accordance with Chapter 18.76 (Use Permits and Minor Use Permits).
- D. Development standards.** Proposed development and new land uses within the -RP overlay district shall comply with the development standards of the primary zoning district, all other applicable provisions of this Development Code, and the following requirements:
 - 1. Setback requirements.** Proposed development shall be set back from the Truckee River 100 year flood plain based on the unique topographic features of each site within the RP overlay zone. Specific setbacks shall be established through the project approval process, and shall be determined based on the following criteria:
 - a. Along East River Street, the setback shall be the minimum horizontal distance from the edge of the 100-year floodplain which is one foot above the base flood elevation. The setback shall be measured from the natural elevation of the property. The setback line may not be modified by raising the property above the base flood elevation through the use of fill or other similar materials. See Figure 3-18.
 - b. Within the Truckee River Master Plan area, the setback shall extend from the boundary of the 100-year floodplain up to the top of the defined bench, which is

located approximately 140 feet from the northerly property boundary at its easterly end, tapering out to 300 feet from the northerly property line at the property's westerly end. The setback on the Truckee River Department of Fish and Game parcel (1998 APN 19-30-05) shall be similar to the parcel described above, and based on the unique characteristics and limited development potential of the subject parcel.

- c. On parcels located between the Truckee River and West River Street, the setback shall be 75 feet from the boundary of the 100-year floodplain.
2. **Allowed uses within required setbacks.** The following uses are allowed within the setback areas required by Subsection D.1 above:
 - a. Paved or unpaved bike lanes and pedestrian/equestrian paths;
 - b. Nature preserve; and
 - c. Picnic tables.
 3. **Siting and design.** Development shall blend into the natural setting through attention to topography and orientation, earhtone colors and use of natural materials, and landscaping.
 4. **River access.** In compliance with the requirements of the Subdivision Map Act, public access to the Truckee River shall be permitted within the designated setback areas through dedication of a public access easement or similar mechanism.
 5. **Screening requirements.** New development shall be screened from the river corridor with landscaping which is compatible with the riparian environment.
 6. **Outdoor storage.** Outdoor storage of materials, merchandise and heavy equipment on parcels adjacent to the Truckee River shall be prohibited.
 7. **Revegetation requirements.** In order to prevent bank erosion and restore wildlife habitat, a riparian revegetation program shall be required prior to approval of a new development project on property where past development practices have resulted in removal of most or all riparian vegetation from the river bank. The riparian vegetation program shall be prepared by a qualified biologist or landscape architect, who shall determine the appropriate mix and density of species to restore wildlife values over time and protect from bank erosion.

18.20.060 - Snow Avalanche (-SA) Overlay District

- A. **Purpose.** The -SA overlay district is intended to identify those areas where, after investigation and study, the Town finds that an avalanche potential exists because of steepness of slope, exposure, snow pack composition, wind, temperature, rate of snowfall and other interacting factors.

B. Applicability. The -SA overlay district boundaries shall be those specifically identified areas within the Town subject to potential avalanche danger. Classifications of the -SA boundaries are identified by hazard potential severity, and the overlay locations are delineated as:

1. High Hazard;
2. Moderate Hazard; and
3. Low Hazard.

Where only a portion of a parcel is affected by the district boundaries, the provisions of this district shall be applicable only if the district boundaries bisect any portion of any structure.

C. Allowed land uses. Any land use normally allowed as a permitted use in the primary zoning district by Tables 2-2, 2-3, 2-6, 2-7 or 2-9 (Allowable Land Uses and Permit Requirements) may be allowed within the -SA overlay zoning district. Land uses identified by Tables 2-2, 2-3, 2-6, 2-7 or 2-9 as conditional uses shall be prohibited within the -SA overlay district.

D. Permit requirements. Development and new land uses within the -SA overlay district shall obtain the land use permit required by this Article for the primary zoning district.

E. Development standards. Proposed development and new land uses within the -SA overlay zoning district shall comply with the development standards of the primary zoning district, all other applicable provisions of this Development Code, any conditions of approval providing measures to preserve and protect existing resources, and the following requirements:

1. **Structural engineer certification.** Within the High Hazard Zone, new construction designed for human occupancy, and remodels, additions and repairs over a five-year period exceeding 50 percent of the appraised market value of the building, shall be certified by a qualified, licensed structural engineer and avalanche expert approved by the Town as to the following:
 - a. That anticipated snow avalanche hazards have been determined by a recognized avalanche expert;
 - b. That the proposed structure will be safely constructed under the anticipated hazards and that the structure complies with anticipated loads and conditions; and
 - c. That the structure, device or earthwork will not threaten to or deflect avalanches toward property of others, or otherwise threaten to increase the danger to persons or property.

2. **Acknowledgment of danger by land owner.** Within the High Hazard Zone, applications for new construction designed for human occupancy, and remodels, additions and repairs over a five-year period exceeding 50 percent of the appraised market value of the building, shall include a written statement signed by the property owner, acknowledging that the property owner understands and agrees that:
 - a. The avalanche forces described in the study required by this Section are to be considered the minimum possible, and the owner understands and agrees that avalanches may occur with forces greater than those described in the study; and
 - b. The Town does not represent, guarantee or warranty the ultimate safety of any construction, use or occupancy of structures constructed to the standards recommended by the engineer and/or required by the Town.

The written statement shall be recorded with the Nevada County Recorder's Office.

3. **New subdivisions.** Within the High Hazard or Moderate Hazard Zones, it shall be unlawful to create any new parcel unless the parcel is held in common with units in a planned development or zoned open space. The density allocated to the land area located within the -SA zoning district may be transferred to the remaining property outside the -SA zoning district.
4. **Utilities.** Within the High Hazard, Moderate Hazard or Low Hazard Zones, new utilities and new individual service connections shall be installed underground in order to minimize possible avalanche damage to the utilities and injury to persons or property.
5. **Dangerous deflection.** Within the High Hazard, Moderate Hazard or Low Hazard Zones, avalanche protective, deflective and preventive structures, devices or earthwork which threaten to deflect avalanches toward property of others, or otherwise threaten to increase the danger to persons or property, shall be prohibited.

18.20.070 – Commercial Row (-CR) Overlay District

- A. **Purpose.** The -CR overlay district is intended to safeguard the mix of retail uses along Commercial Row; to inspire a more livable urban and pedestrian-oriented environment; to protect and enhance Commercial Row's attraction to visitors and local residents, thereby stimulating business; and to contribute to the downtown historic community character. Development standards and guidelines for this district address change of use, alterations and additions to existing buildings.
- B. **Applicability.** The -CR overlay district applies to all properties located along the northern side of Donner Pass Road, known as Commercial Row, which is bounded on the west by Spring Street, on the east by Bridge Street, and by the alley to the north. The district applies only to ground floor spaces along Commercial Row.
- C. **Allowed land uses and permit requirements.** All retail, restaurant and bar uses may be allowed within the -CR overlay district subject to approval of a land use permit by the review authority in accordance with Chapter 18.72 (Zoning Clearance), Chapter 18.74 (Development

Permits) or Chapter 18.76 (Use Permits and Minor Use Permits). In general, most non-retail related uses are prohibited in ground floor spaces along Commercial Row. For a complete list of allowed uses, see Table 2-7 in Chapter 18.12. In general, retail, restaurant and bar uses are required to be the primary use. Retail, restaurant and bar uses secondary to a prohibited use are not allowed.

- D. Development Standards.** Proposed development and new land uses within the –CR overlay district shall comply with the development standards of the primary zoning district, all other applicable provisions of this Development Code and the applicable requirements of Chapter 18.26 (Historic Preservation Design Guidelines).
- E. Nonconforming Uses.** All existing non-retail, non-restaurant, non-bar uses on Commercial Row as of the effective date of this section are allowed to remain until a change of or intensification of use. At that time, any proposed use will have to comply with the –CR Overlay District. This district does not apply to lease renewals with no change of use. Additional information on non-conforming uses is provided in Chapter 18.130.

CHAPTER 18.24 - DESIGN GUIDELINES

Sections:

- 18.24.010 - Purpose of Chapter
- 18.24.020 - Applicability
- 18.24.030 - Organization
- 18.24.040 - General Design Guidelines
- 18.24.050 - Building Characteristic Design Guidelines
- 18.24.060 - Site Design Guidelines
- 18.24.070 - Sustainability Design Guidelines
- 18.24.080 - Landscape and Hardscape Design Guidelines
- 18.24.090 - Services and Utility Placement Design Guidelines
- 18.24.100 - Fence and Wall Design Guidelines
- 18.24.110 - Design Guidelines for Specific Land Uses

18.24.010 - Purpose of Chapter

The Design Guidelines of this Chapter are intended as a guide to assist property owners and project designers in understanding the Town's goals for attaining high quality development that is sensitive to the Town's unique small mountain-town character. The guidelines will be used during the review of land use permit applications as additional criteria for project review.

18.24.020 - Applicability

- A. The provisions of this Chapter apply to all multi-family residential, commercial, industrial, and public/institutional projects (additions, remodeling, relocation or new construction). The design elements of each project (including site design, architecture, landscaping, signs, parking design) will be reviewed on a comprehensive basis. Design guidelines in other Chapters of this Development Code dealing with signs, landscaping and parking shall also be addressed whenever applicable.

Keys to Success

Although new projects should strive to conform to all applicable guidelines, those designated with a chevron symbol are considered most important to achieving a successful design.



When to use Caution

Figures are used throughout this Development Code to illustrate the intent and recommendations of design guidelines. Examples illustrating design strategies that should be avoided or are not recommended are designated by a caution symbol.



- B. The review authority may interpret these design guidelines with some flexibility in their application to specific projects, as not all design criteria may be workable/appropriate for each project. In some circumstances, one guideline may be relaxed to facilitate compliance with another guideline determined by the review authority to be more important in the particular

case. The overall objective is to ensure that the intent and spirit of the design guidelines are followed and that each project conveys Truckee's unique and "funky" character.

18.24.030 - Organization

The design guidelines in this Chapter are organized by topic. Included within each topic is an introductory paragraph that describes the topic, numbered Design Guidelines, and descriptive sketches, graphics or photographs. More detailed guidelines can be found in Section 18.24.120 (Design Guidelines for Specific Land Uses).

18.24.040 - General Design Guidelines

This Section provides general design guidelines/principles that are applicable to all new and modified multi-family residential, commercial, industrial and public/institutional projects throughout the Town.

- A. Community Design Principles.** The design of each project should enhance and build upon Truckee's "sense of place" and unique identity by incorporating the following community-based design principles:
- 1. Respect Truckee's heritage.** Balance respecting Truckee's history of working-class utilitarian design and railroad heritage with new, authentic interpretations.
 - 2. Embrace the natural environment.** Truckee's natural mountain environment defines many of the most important aspects of the town's community character. Create connections to the scenic mountain landscape in all projects.
 - 3. Achieve sustainable development.** Focus on more compact development to promote walkability, preservation of natural resources, creation of public spaces, and shared infrastructure.
- B. Community Design Objectives.** It is not the intent of these guidelines to develop a detailed or exhaustive study or to apply a singular design solution to all development types, but rather to work toward a common material vocabulary and set of character-defining elements that may be used to direct new development. Just as the original buildings in Truckee were not dictated by rigid rules and regulations, it is vital that the design and form of new structures respond to locally available materials and climate, rather than a tightly defined style. When starting a new development, work toward achieving the following objectives:
1. Consider Truckee's small-town scale and mountain environment, and demonstrate sensitivity to the contextual influences of the surrounding area;
 2. Articulate building forms and elevations to create interesting roof lines, building shapes and patterns of shade and shadow, and avoid franchise, corporate and non-contextual architecture;

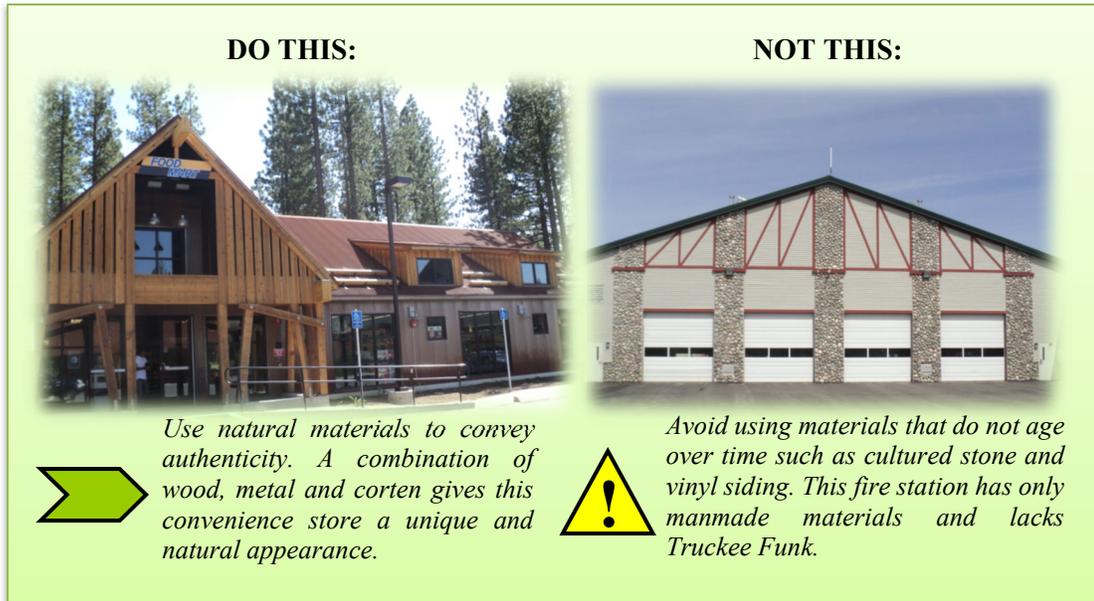
3. Thoughtfully and meaningfully integrate landscaping to enhance overall project design, and enhance Truckee's unique mountain character through emphasis on use of native vegetation;
4. Work with the existing site constraints to minimize grading and vegetation removal and maximize view and solar opportunities; and
5. Consider the need for signs and their appropriate locations early in the design process.

C. General Building Design Guidelines.

1. **Architectural style.** Truckee's architectural style is often referred to as "Truckee Funk." Truckee Funk is an expression of the community's history of working-class utilitarian design where function drives building forms. Key components of Truckee Funk include:
 - a. **Combinations of symmetry and asymmetry.** Create the appearance of layering over time using simple box and/or rectangle shapes as a foundation. Build upon this foundation vertically and horizontally to create unique and interesting designs that draw from, but that do not mimic Truckee's past. Use variations of gable, shed and/or flat roofs within the same building or project to reinforce symmetrical and asymmetrical aspects of the design.
 - b. **Texture.** Vary building material by color, dimension and type to create visible and physical texture. Use materials such as concrete and wood to build layers and create different but complementary qualities within a project.
 - c. **Construction methodology.** Expose materials that convey how the project is constructed. For example, include board formed concrete, exposed load-bearing trusses, support brackets, rivets, welding seams and similar features.
 - d. **Authentic materials.** Use materials (see Figure 2-1) that weather over time and are reflective of Truckee's history such as wood, brick, logs, rough-cut granite stones, rock, metal and iron, including new interpretations of older materials such as:
 - Copper
 - Board formed, stained tilt-up, and pre-colored concrete
 - Rebar, I-beams
 - Reclaimed materials
 - Corrugated metal, blue/hot-rolled steel
 - Crusher screen, wire, cable

Avoid artificial products that attempt to imitate real materials such as wood-grain cementitious siding, wood-grain metal garage doors, cultured or artificial rock,

imitation stone, or simulated brick. Synthetic materials may be considered appropriate by the review authority if determined necessary for building efficiency or implementation of other green building principles.



**FIGURE 2-1
BUILDING MATERIALS**

- e. **Art in architecture.** The “funk” in “Truckee Funk” can often be enhanced by integrating artwork into the architectural design or by using architecture to create unique visual expression. Consider enhancing projects through expression in art early in the project design phase (e.g., hand-painted walls or images, custom lighting fixtures, custom doors, structural sculpture, etc.).
2. **Creating Truckee Funk Architecture.** Truckee Funk Architecture is based on the fundamental building blocks of simplicity, utilitarianism and self-expression (see Figure 2-6). These building blocks allow for variation in architectural styles and motifs that translate into appropriate styles including block, Truckee vernacular and contemporary mountain.
 - a. **Block style.** Block style is characterized by a simple box or rectangular-shaped facade, flat roof, simple detail, two- to four-story height, first floor commercial frontage/shop front, with or without awnings, colonnades or canopies (see Figure 2-2 and Figure 2-3).
 - (1) In large-block style projects with more than three floors, create the appearance of layering by breaking down facades to varied block sizes and shapes.



**FIGURE 2-2
LARGE BLOCK STYLE WITH
LAYERING**



**FIGURE 2-3
BLOCK STYLE**

- b. Truckee vernacular.** Truckee contains a diversity of architectural styles that represent the town's history of commercial, residential, institutional and industrial development (see Figure 2-4). This rich architectural heritage enhances the town and provides a strong sense of place. Truckee vernacular style is a catch-all for building architecture that does not explicitly fit with the block style or contemporary mountain style. Defining characteristics of Truckee vernacular include modest form, dominant gable-roof, wood-cladding, and one- to three-story building height.



**FIGURE 2-4
TRUCKEE VERNACULAR**

c. **Contemporary mountain style.** Contemporary mountain style is characterized by a mix of modern architecture and more traditional Truckee architecture such as industrial/railroad, craftsman and folk vernacular. Within this style there is often a juxtaposition of materials, texture, and of old and new. This style is flexible to allow for



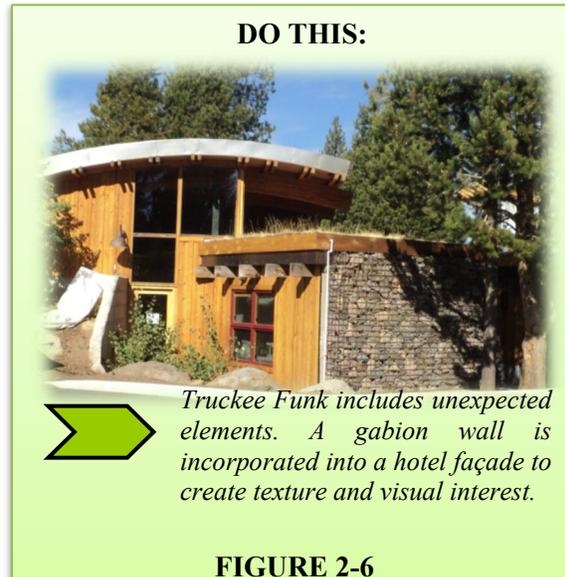
**FIGURE 2-5
CONTEMPORARY MOUNTAIN STYLE**

and new individuality interpretations

of Truckee Funk (see Figure 2-5)

3. **Desirable character elements.** New projects should incorporate some of the following “character defining elements” of Truckee Funk:

- Wood, metal or brick exterior cladding, including combinations thereof and materials that age over time;
- Exposed wooden and/or metal structural elements including load-bearing trusses, I-beams, etc.;
- One- and two-story elements in a single structure;
- Massive/exaggerated structural carrying elements;
- Wainscotting with brick, metal, concrete, wood, etc.;
- Stained, painted or raw natural colored foundation walls and deck/entry supports (where visible);
- Standing-seam metal roofs/treated wood shake/thick composition shingles/corrugated metal roofs;
- Rock/brick/metal/stone chimney elements and other details;
- Prominent entryways including gable-roofed entryways with exposed bracing;
- Earth tone colors;
- Multi-light windows and doors; and
- Hand crafted elements (i.e. hand forged metals, hand hewn lumber, etc.).



**FIGURE 2-6
TRUCKEE FUNK**

4. **Inappropriate styles.** The following architectural styles and motifs are considered inappropriate:

- Geodesic dome structures;
- Franchise architecture and the use of stock building plans and/or typical corporate architecture and franchise designs shall be prohibited. Franchise architecture is a building design that is trademarked, branded or easily identified

with a particular chain or corporation. Franchise designs lack architectural elements and are not consistent with Truckee’s local character (see Figure 2-7);

- Mediterranean or Spanish motifs;
- Tudor or half-timbered Tudor;
- Highly ornate Victorian;
- French Baroque (e.g. mansard roof);
- Colonial;
- Architecture that directly mimics or is derivative of the buildings of the historic downtown;
- Southwestern or Pueblo; and
- Other historical or period design motifs that have a strong connection or association with other regions that have no historical or climate connection with Truckee.



**FIGURE 2-7
FRANCHISE ARCHITECTURE**

5. **Subdivisions.** Subdivisions of commercial, industrial and multi-family residential properties should be designed to allow coordinated development of the parcels, facilitate shared parking and common driveways, reduce encroachments onto public and private streets, and promote pedestrian activity.

18.24.050 – Building Characteristic Design Guidelines

The most challenging aspect of designing new buildings that fit into Truckee’s small mountain-town character is matching the definite, often exceptional character and quality of design and construction of most of its vernacular building stock. Intelligent design that expands livability options, carefully elaborates on traditional styles or explores new ones, and practically and elegantly resolves all detailing and construction issues can contribute to the living heritage that is the architecture of Truckee. This section provides design guidelines for creating appropriate building design and character.

A. Building materials.

1. Artificial or decorative facade treatments, where one or more unrelated materials appear to be simply applied to the surface of a building rather than an integral part of its design, should be avoided. Materials should be used honestly. Artificial products that attempt to imitate real materials (e.g., wood, stone, brick, etc.) are discouraged.

2. The composition of materials should avoid creating the impression of thinness and artificiality. Veneers should turn corners, avoiding exposed edges.

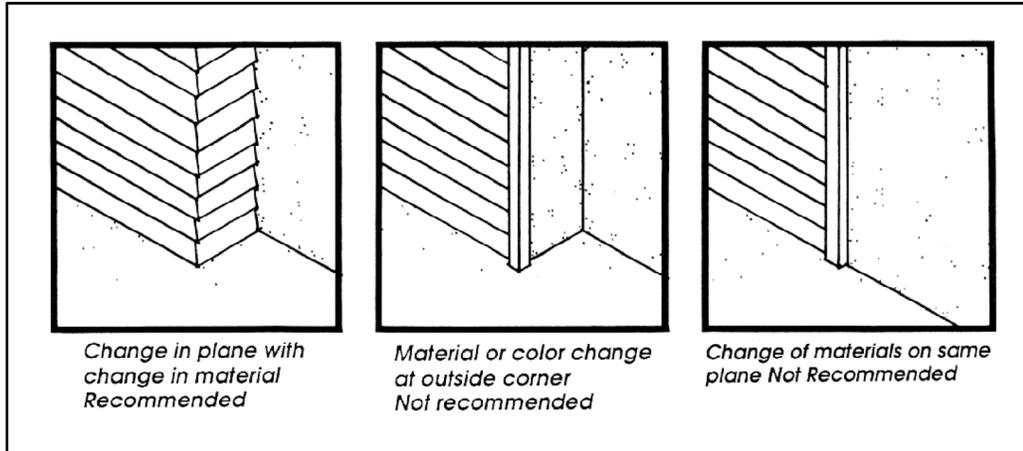
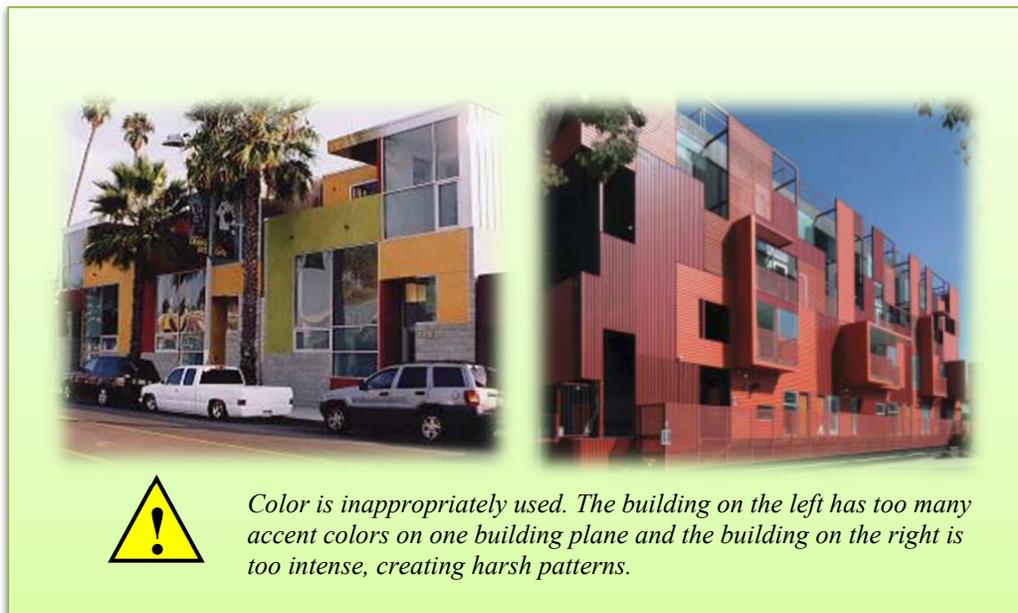


FIGURE 2-8
BUILDING MATERIALS AT WALL EDGES

3. Natural building materials (e.g., wood, stone and brick) that blend with the natural surroundings should be used. Other materials should be reviewed on a case-by-case basis. Buildings should minimize the use of large expanses of reflective glazing, aluminum panels and other materials not normally found in the mountain environment. Synthetic materials that attempt to simulate the textures or patterns of other materials (e.g., vinyl siding that attempts to simulate the pattern of wood grain) should not be used.
- B. Colors.** Color palettes are often a matter of personal taste and trends. While self-expression is encouraged, project designers should be careful not to carry project architecture through use of color. Projects should comply with the following guidelines regarding color:
1. Colors should be compatible with the existing colors of the surrounding area but need not duplicate existing colors. The use of darker tones for the structure's base color is recommended unless a natural treatment is proposed.
 2. Accent colors should be used carefully and be complementary to the base color or a variation of its hue, either weaker or stronger. Contrasting colors may be considered by the review authority if determined to enhance the proposed architectural style and building form.
 3. The transition between base and accent colors should relate to changes in building materials or texture, or the change of building surface planes. Colors should generally not meet or change without some physical change or definition to the surface plane.



**FIGURE 2-9
BUILDING COLOR**

4. In most cases, only one or two accent colors should be used in addition to the base color.
5. Colors appropriate to the Truckee Funk Style include:
 - Dark greens of forests;

- Grey-brown of mountains;
 - Tan of field grasses and fallen pine needles;
 - Greys of granite rock; and
 - Red-brown of brick.
 - Other colors reflective of natural or raw materials.
6. Exterior wall colors should harmonize with the site and surrounding buildings. On exterior walls, the predominant tone should tend toward earthy hues, whether in the natural patina or weathered color of the wall surface itself or the color of the paint, stain or other coating. Accent colors on the wall surfaces can enliven buildings. In most cases, only one or two accent colors should be used in addition to the base color. Harshly contrasting color combinations should be avoided. Brilliant, luminescent or day-glow colors should not be approved.
- C. Facade design.** Building facades should be designed to provide visual interest and relief. Building massing and building facades should be designed with simple, harmonious proportions.
1. Continuous street facades, as near the street as possible with predominantly retail uses at-grade and office/professional uses above, are encouraged. Buildings should not be overpowering or monotonous. A change in the planes of walls or variety in the roof form provides diversity and visual interest.
 2. Building facade elements (e.g., windows, doors and eaves) should be in proportion and relate to one another. Consider building rhythm to avoid architectural monotony.

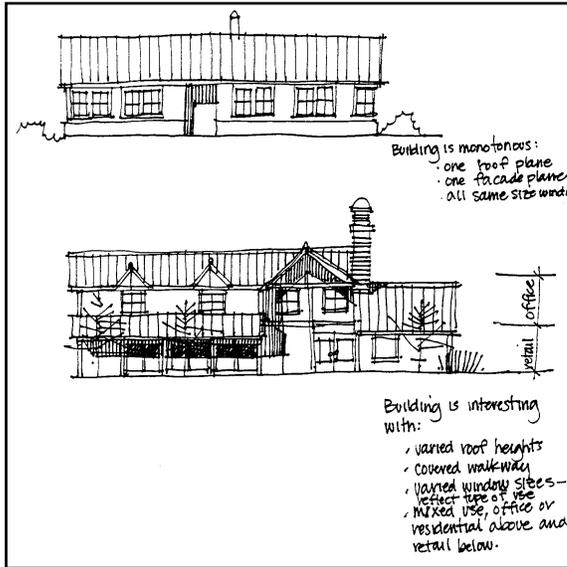


FIGURE 2-10
FAÇADE WITH VISUAL INTEREST

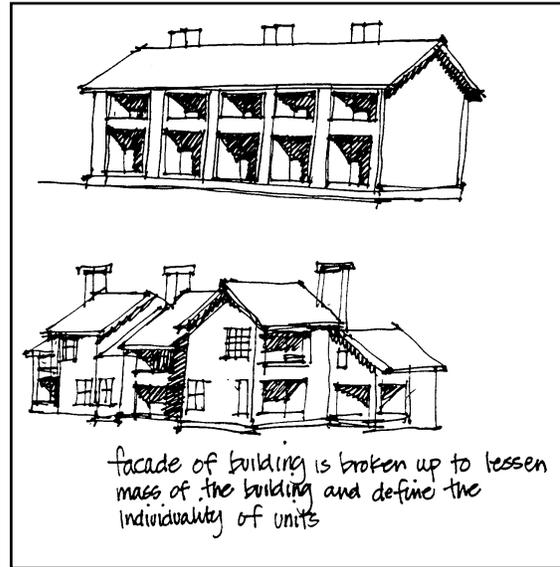
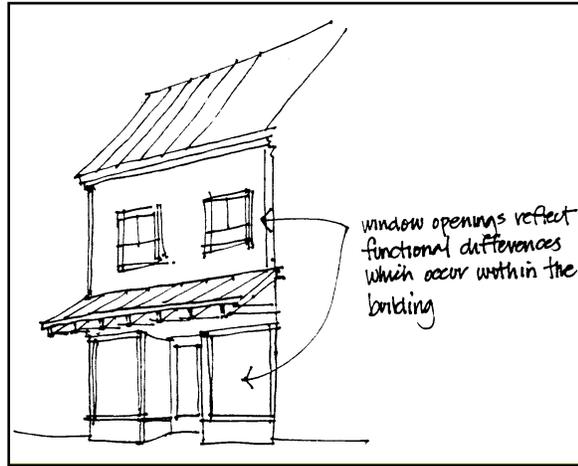


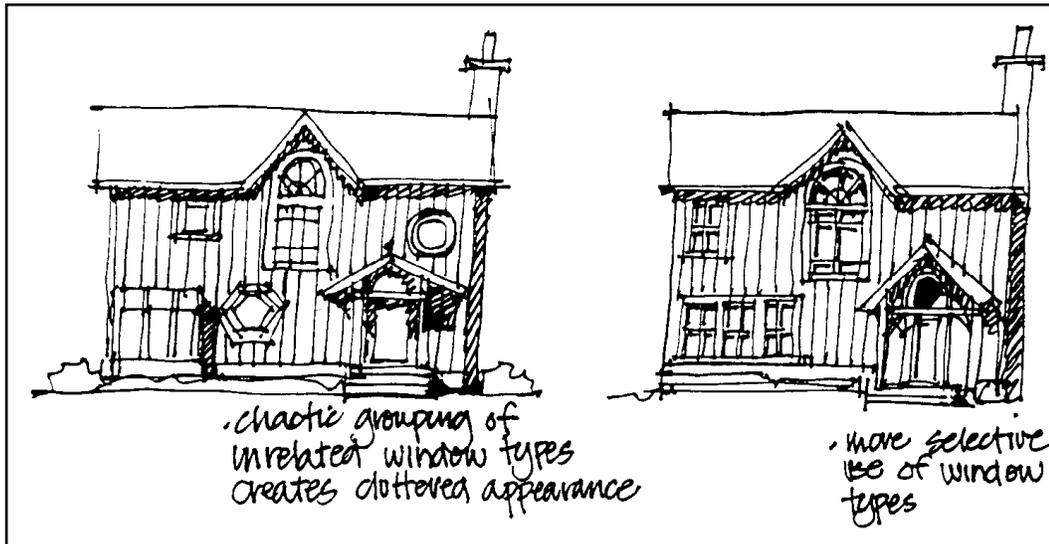
FIGURE 2-11
ARTICULATION EXAMPLE

D. Windows. Windows should be specifically designed and built to contribute to the image and form of new buildings. Window patterning, style and design should demonstrate the following:

1. Windows should be of a simple, uncluttered design. Windows with vertical proportions, as typically seen on Truckee's older buildings, are often appropriate for contemporary structures. Most importantly, the proportion of the windows should complement the proportions of the building. Small-paned windows, as seen on colonial buildings, are not appropriate for Truckee. Raw aluminum windows, reflective glass and tinted windows should be avoided. Decorative windows should be used in limited quantities. Window shapes other than flush-mounted rectangles (e.g., round, oval, arched, spherical and bays) should be used sparingly as accents to avoid creating overly busy facades.
2. Window openings should reflect a distinction between uses that occur within the building. Typically ground floor windows are larger than those found on upper levels. Careful consideration should be given to the ratio of solid wall area to window area. Window selection and placement should avoid the extremes of the monotony of many identical windows or the confusion of overly varying windows. Treatments that will obscure the visual distinction between windows and walls (e.g., spandrel glass) should not be approved.

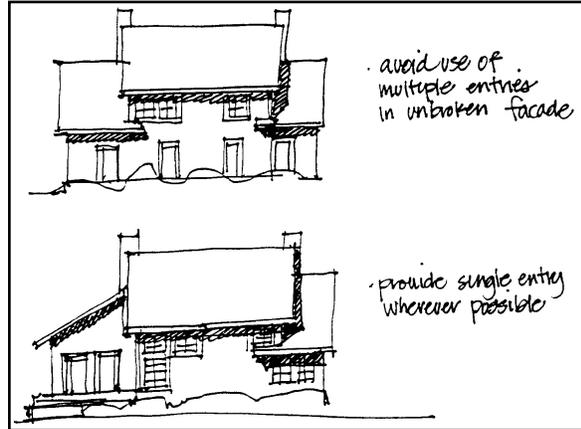


**FIGURE 2-12
WINDOW DESIGN**



**FIGURE 2-13
USE OF DIFFERENT WINDOW TYPES**

- E. Doors.** Doors should be located in a manner that complements the design of the building as well as serving their intended function. Excessive numbers of exterior doorways may give a building a dormitory-like character. The use of common entry ways in protected locations may also contribute to energy efficiency. Where possible, doors should open onto exterior areas that receive direct sunlight. Snow should not shed onto entrances. Fancy scalloped, colonial and Dutch doors are also out of character.



**FIGURE 2-14
BUILDING ENTRY PLACEMENT**

F. Entries.

1. Entries should be protected from the elements and should create a focal point for the building.
2. Wall recesses, roof overhangs, canopies, arches, signs and similar architectural features should be integral elements of the building's design, calling attention to the importance of the entry.
3. Consider the use of airlock entries to help with building climate control.

- G. Wall features.** Wall design features should not be overly decorative; however, blank side and end walls should be avoided. Continuity of design should continue around all visible sides of the building. The use of ornamental detailing should be limited and in keeping with historical contexts. While detailing is often required to make a building look good, the overuse of it will detract from the composition as a whole. Likewise, the use of detailing which is not in context with its architectural style will detract from the overall appearance of the building.

- H. Balconies and porches.** Balconies and porches, like other wall features, should be simply designed. The use of long, vertical or horizontal balconies or horizontal bands of balconies is discouraged. Balusters and railings should be designed in a simple and straightforward manner. The mass of the balusters and the railing should match the building's overall architectural design. Ornate balusters and railings (e.g., Swiss or historic motifs) should be avoided. Balconies should be designed to prevent snow accumulation, interior leaks and icicle buildup. They should be located so that neither snow nor ice falling on or from them can endanger passersby.

I. Roofs and rooflines.

1. **Appropriate material.** The following roofing materials are considered appropriate for Truckee's climate and architectural style:

- Slate;

- Standing seam metal roof in dark earth tone colors;
- Thick or dimensional asphalt shingle;
- Treated wood shake;
- Flat concrete tiles/shingles in dark earth tone colors;
- Corrugated metal with rough or rusted/rustic finish; and
- Copper or terne metal.

2. Inappropriate materials. The following roofing materials are considered inappropriate and are strongly discouraged:

- Untreated, unpainted aluminum or metal;
- Brightly colored materials;
- Spanish tile;
- White rock/gravel; and
- Corrugated metal with smooth or shiny finish.

3. Roof design. Roof design contributes strongly to the image of a structure as having quality and permanence. Structures with full-pitched roofs project a more small-town image and reinforce the pedestrian orientation that is encouraged in Truckee. Therefore, new freestanding structures should incorporate full-pitched roofs whenever possible. Structures with flat roofs may be considered if determined compatible with an overall design theme.

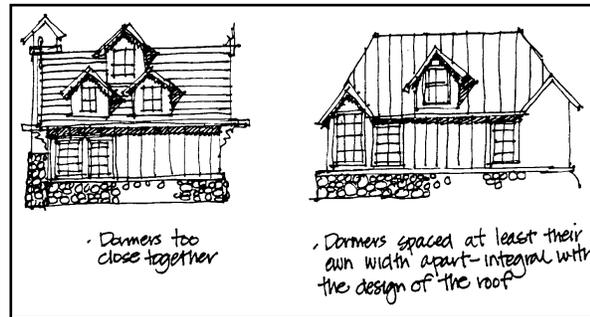


**FIGURE 2-15
DESIGN FOR SNOW SHEDDING**

- a. Roofs may be gable, hip or shed-type, but in all cases should either be full pitched or should appear so from the street. Any flat portions (i.e., equipment wells) should be relatively small and not visible from streets or other areas where the public has access. On larger structures, pitched roofs should be multi-planed to avoid large expanses of monotonous single-planed roofs.

- b. Flat roofs may be considered for larger structures when it is determined that a project's overall design is amenable to flat roofs and is otherwise consistent with the objectives of these guidelines. When flat roofs are used, there should be a screening parapet topped with a coping, cornice, or, if determined appropriate to the project's style, a modified mansard. Mansards should maintain the same roof pitch as surrounding structures and should be both high and deep enough to create the illusion of being a true roof. Small, steeply-pitched mansard roofs that appear as “stuck-on eyebrows” are discouraged.
- c. Roof design should anticipate snow-shedding areas. Roof pitches should be designed so that falling snow or ice will not threaten human safety or property. Walkways, entries, decks or landscaping should not be located where they will be damaged by falling snow. Whether the roofing material and pitch will hold or release snow should be considered. If buildings are spaced too close together, snow sliding off the roof may damage adjacent structures. Building designers should familiarize themselves with problems common to the mountain environment (e.g., ice damming, roof loading and snow accumulation against walls).

- d. Roof architectural features should be used sparingly. The location of roof architectural elements is critical to avoid an over decorated, visually confusing appearance. Dormers can be placed at the roof eave or within the field of the roof. Dormers should have the following shapes: shed dormer, gable dormer and hip dormer. Swoop dormers should not be permitted. In general, roof ornaments (e.g., finials, scroll



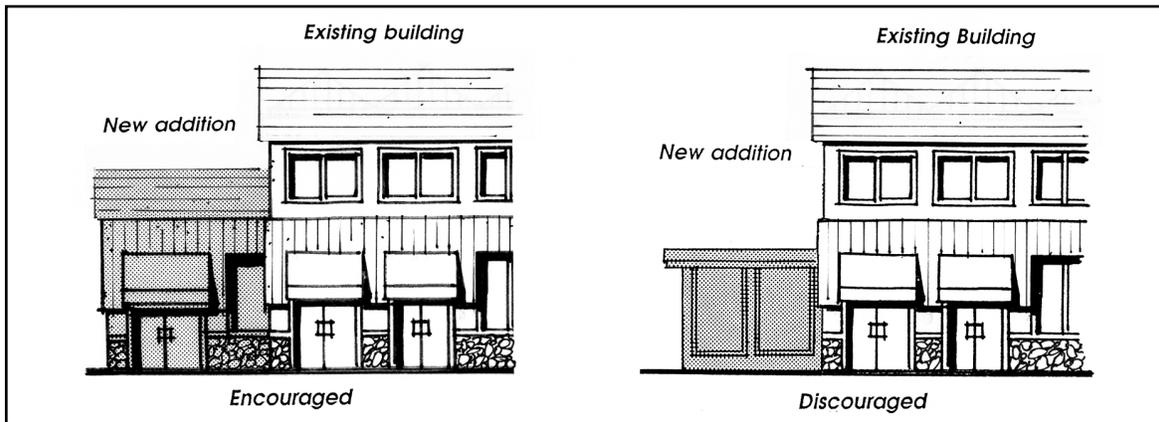
work on the ridge or on barge boards or on eave boards, and decorative turrets) are discouraged. Snow diverters and retainers may be necessary installations on the roofs. They should be handled as an integral part of the roof shape.

FIGURE 2-16
ROOF ARCHITECTURAL FEATURES

- e. Utilize either hip, gable or shed roof forms as elements of Truckee Funk. Combinations of these roof types are also acceptable. Avoid the extensive use of flat roofs, steeply pitched A-frame roofs, geodesic domes or mansard “eyebrow” type roofs.
- f. Roofs, overhangs and balconies should be designed to avoid the destructive effects of snow and ice falling onto other buildings, pedestrians, cars, powerlines and landscaping.
4. **Parapets.** Parapet walls should be treated as an integral part of the structure’s design. They should receive architectural detailing consistent with the rest of the facade and should not appear as unrelated elements intended only to screen the roof behind.

J. Additions to existing structures.

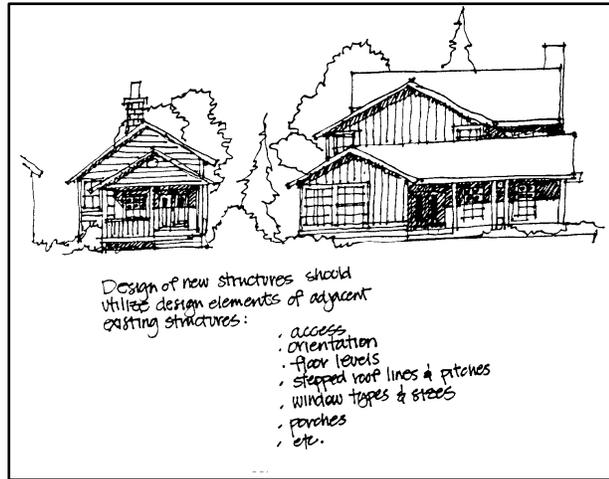
1. Building additions should follow the same general scale, proportion, massing and detailing as the original structure and should not be a stark contrast; exceptions may be made for additions to historic structures listed on the Town of Truckee Historic Resources and Architectural Inventory. See the Downtown Truckee Specific Plan Volume 3: Historic Design Guidelines for additional information.
2. The design of a new addition should incorporate the main characteristics of the existing structure. This may include the following: the extension of architectural lines from the existing structure to the addition; repetition of bay, window and entrance spacing; use of harmonizing colors and materials; and the inclusion of similar architectural details (e.g., window/door trim, lighting fixtures, stone/brick decoration).



**FIGURE 2-17
COMPATIBLE DESIGN IN BUILDING
ADDITIONS**

K. Residential compatibility. New buildings along the edge of a commercial district should step down to a height and scale similar to the abutting residential structures. This step-down in size and scale can help minimize shading of adjacent residential structures during winter months and create a smooth transition between the two districts.

L. Compatibility with context. New buildings should be in proportion to surrounding buildings, except in those cases where current buildings are oversized. New buildings should also be properly proportioned to the pedestrian realm. Harmony in mass, lines and materials is important, but monotony should be avoided. Buildings should be designed so that adverse impacts on adjacent buildings and properties are minimized. Loss of natural lighting, shade trees, noise pollution, and exhaust fumes and heat from venting should be addressed during project review, and all possible efforts should be made to avoid these effects.



**FIGURE 2-18
CONSISTENCY WITH CONTEXT**

18.24.060 – Site Design Guidelines

A. General site design guidelines. Project site planning should comply with the following guidelines:

1. **Consider adjacent development.** Each development proposal should demonstrate consideration for the existing conditions on and off the site including the following:
 - a. Land use and site organization of neighboring properties;
 - b. Architectural character/style of neighboring structures;
 - c. Existing natural features (i.e., mature trees, landforms, etc.);
 - d. Opportunities to preserve or enhance views of the mountains;
 - e. Privacy and solar access of the site and neighboring properties; and
 - f. Links to adjacent development using sidewalks and shared access drives and parking.

B. Define the public realm. New buildings should help realize the dominant massing and landscape character of their adjacent public realm or establish a new one where the public realm

has not been defined. In either case, appropriate mass and scale should be designed to create a comfortable pedestrian environment.

1. **Pedestrian walkways.** Projects should connect the on-site pedestrian circulation system to the off-site public sidewalk at intervals of at least one connection for each 200 lineal feet (or fraction thereof). Parking areas should be connected to building entrances by means of enhanced paving (patterned or stamped) and/or protected walkways. Projects with multiple buildings that do not provide obvious, easy-to-use pedestrian paths between buildings shall be discouraged.

C. Building placement.

1. **General placement principles.**

Buildings should generally be oriented parallel to streets and placed as close to the street as required and established setbacks permit. Buildings may be angled to create interesting juxtapositions if there is a specific design goal to be achieved. However, the definition of the street edge is an important and legitimate role for buildings and this needs to be considered. Exceptions may occur for wider setbacks from the street if a compatible use is proposed (e.g., outdoor dining or pedestrian rest area) or to maintain continuity with landscaped areas on adjacent properties.

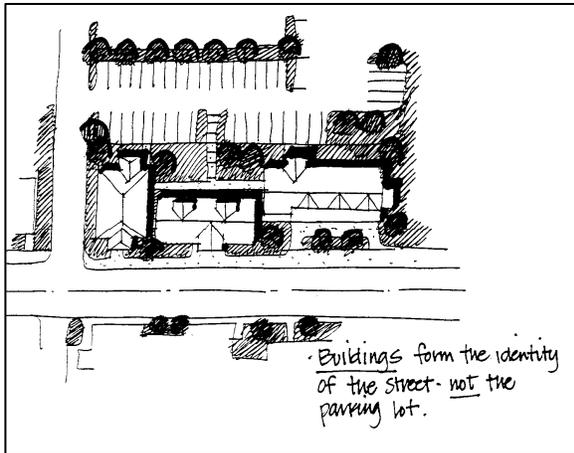


FIGURE 2-19
BUILDING PLACEMENT AT STREET

2. **Building orientation.** Placement of the building in relation to the surrounding elements is equally as important as the design of the building.
 - a. The proposed building orientation should respect the orientation of surrounding buildings, existing pedestrian paths and sidewalks, and the orientation of surrounding streets. Rows of buildings which create a monotonous, “cookie-cutter” design are discouraged.
 - b. Buildings should not be oriented to large parking lots located between the building and the street, and should invite pedestrian movement along the street frontage and between buildings and parking areas.

- c. The placement of building entrances and windows should also be considered in the context of building orientation. Building entrances and windows are essential elements that physically connect outdoor and indoor activity for pedestrians, making walking a more enjoyable and interesting experience. Provide building entrances where appropriate, taking into consideration the location of the building, present and potential future uses of the building, pedestrian circulation routes, and the character of surrounding developments. Create prominent entries along building frontages and primary points of access to ground the building mass and orient the user.

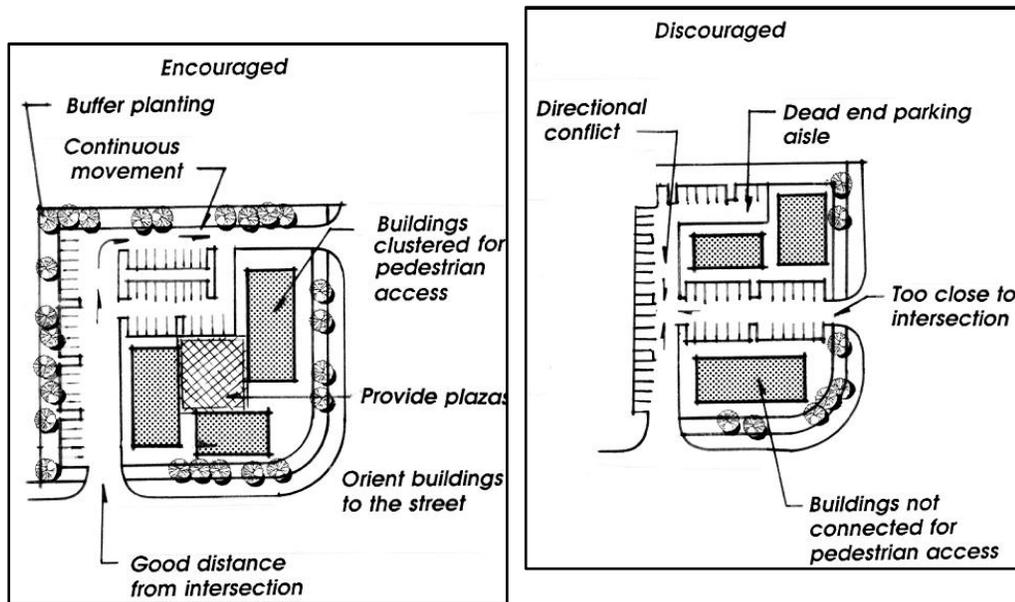
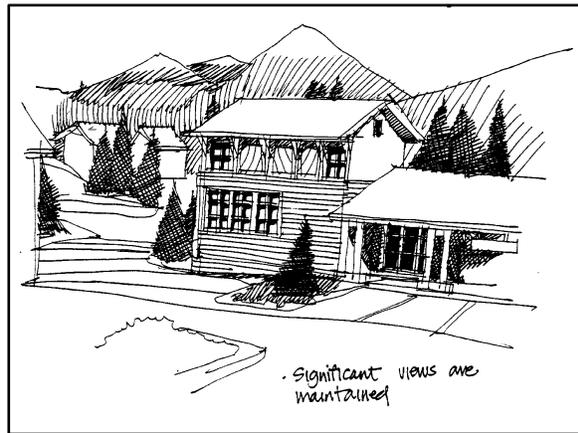


FIGURE 2-20
LOCATION OF PARKING AND BUILDINGS

3. **Corner buildings.** Corner buildings should have a strong tie to the setback lines of each street. The primary mass of the building should not be placed at an angle to the corner. This does not preclude angled building corners or an open plaza at the corner, which are strongly encouraged.
4. **Projects with multiple structures.** Multiple buildings in a single project should create a positive functional relationship with one another. Whenever possible, multiple buildings should be clustered to achieve a “village” scale. This creates opportunities for plazas and pedestrian areas while preventing long “barracks-like” rows of buildings. When clustering is impractical, a visual link should be established between buildings. This link can be accomplished through the use of an arcade system, trellis, colonnade, or through enhanced paving.
5. **Buildings on slopes.** Buildings constructed on hillsides should step to follow the natural terrain. Projects that significantly alter the natural slope can have a great visual impact and are strongly discouraged. Refer to Section 18.36.050 (Design Criteria for Hillside Development).

D. Protection of views and natural features. Buildings should be sited to preserve significant views, vegetation and existing land forms. Views from three vantage points are critical in the siting of buildings — looking at the site from other areas, looking at other areas from the site, and looking through the site from key places within the project. The primary concerns relate to maintaining views both to the site and features beyond. Projects should be designed so they complement rather than dominate the natural landscape. Views should also be considered in the preparation of a landscape plan, particularly where plant material will be considerably larger at maturity. On-site simulation or accurate photographic simulations should be used to describe the impact of larger projects on views.

1. Consideration of views in project design. Scenic views and the natural environment surrounding the project site should be considered early during the conceptual design stage of a project. For instance, buildings placed against the backdrop of hillsides, mountains or watercourses should be considerate of their surroundings and not obscure scenic views by being oversized, extremely tall or painted to draw attention away from the natural environment.



**FIGURE 2-21
VIEW PROTECTION**

2. Open space areas. Open space areas should be accessible from the majority of structures, and should be oriented to take advantage of sun or shade as appropriate. The type and function of the open space areas should be considered early in the design process to ensure all open space areas are well-integrated into the overall site plan.

E. Snow storage areas. Designated snow storage areas should be accommodated in a way that does not block visibility for motorists. Snow storage areas should consider vegetation as well as solar access. Do not locate snow storage in predominantly shady areas. Areas designated for snow storage should use suitable plant materials including vigorous ground covers, perennials, willows and planters with low edges to facilitate plow access. Snow storage is not permitted across public sidewalks. See also Section 18.30.130 (Snow Storage).

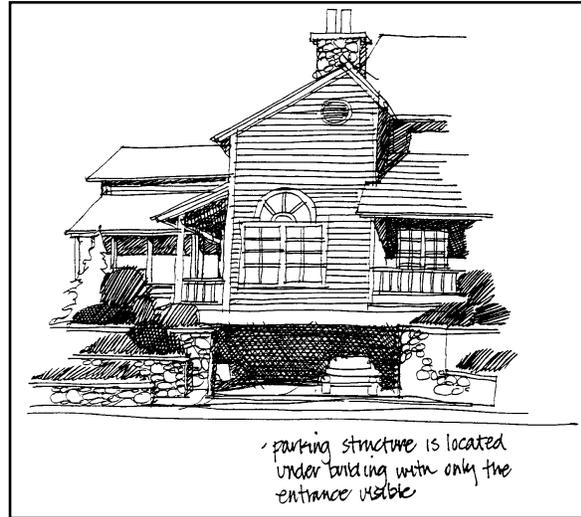
F. Parking location.

1. General placement principles. The visual impact of parking lots should be minimized by locating these facilities to a portion of the site least visible from the street and by providing adequate screening and parking lot landscaping. Refer to Chapter 18.50 (Parking Design Guidelines).

a. Parking areas should be located to the rear of buildings or screened so that they do not dominate the streetscape. Combinations of fences, berms and enhanced landscaping should be used to screen parking areas. Design the landscaping to provide snow storage areas.

- b. When parking lots occur on sloping terrain, step the parking lots to follow the terrain rather than allowing the lot surface to extend above or below natural grade. When more than 25 parking spaces are required, utilize the buildings, natural topography and landscape to break them up into smaller more sensitively-scaled parking areas.

- c. Enclosed parking structures should be designed to minimize their visual impact. Depressing enclosed parking structures into the ground will make them less obvious to passersby and will facilitate screening with landscaping. Parking structures that are more than one story in height should provide retail or office space at street level to screen vehicles.



**FIGURE 2-22
PARKING STRUCTURE LOCATION**

- d. Parking facilities should be located, designed and provided access in coordination with parking on adjacent parcels. Where feasible, pedestrian and vehicle access should be provided across property lines between adjacent parking facilities on separate parcels.
- e. Parking facilities should be oriented towards major roadways, and the use of neighborhood roadways, particularly local streets, is discouraged.

G. Street character. The single most important element in creating street character is building location. Buildings are what create street and neighborhood form, define the public realm, and weave the built fabric of Truckee together. Careful consideration should be given to how buildings relate to their physical context (towards the street, towards buildings across the street, and towards adjacent buildings), as well as to their historical, cultural and climatic context. In order for inviting and genuine street character to be successfully achieved, new buildings should be designed so that a minimum of 50 percent of the total street frontage is occupied by buildings located at the sidewalk. This siting, together with substantial landscaping treatment, reinforces and strengthens the overall streetscape, and helps to screen off-street parking areas.

18.24.070 - Sustainability Design Guidelines

This section provides general sustainability design guidelines. Site planning and building design should take advantage of all reasonable opportunities to reduce energy and other resource consumption, in compliance with the Conservation and Open Space Element of the General Plan.

A. Sustainability objectives.

1. Incorporate sustainable building design strategies, both passive and active, that encourage energy efficiency, improve indoor air quality, and encourage water and resource conservation.
2. Create development patterns that reflect compact, neighborhood-oriented infill and clustered development that decreases urban sprawl, minimizes loss of open space and natural resource impacts, and encourages alternative modes of transportation.
3. Use a whole building approach to sustainability by recognizing building performance in five key areas of human and environmental health: sustainable site development, water savings, energy efficiency, materials selection and indoor environmental quality.

B. Solar exposure and orientation.

1. Building placement and landscaping should accommodate solar designs. Maintaining solar exposure to adjoining buildings and sites is essential. In the winter, places that are mostly in shadow will be cold and unusable while places in sunlight will get used. Buildings, vegetation and land forms can cast shadows and block sunlight, and the color and choice of building surface can play an important role in reflecting sunlight into adjoining exterior
2. New structures should be oriented to the greatest opportunities to the greatest
3. Lot sizes/configurations should be planned so that the structures oriented so that the degrees of due south, while permitting the structures to receive cooling and any existing or proposed shading
4. Roof-mounted solar collectors should be placed in the most inconspicuous operating efficiency of the collectors. Wall-mounted and ground-mounted collectors should be screened from public view with material that is compatible with the building's architecture.
5. Roof-mounted collectors should be installed at the same angle or as close as possible to the pitch of the roof.
6. Appurtenant equipment, particularly plumbing and related fixtures, should be installed in the attic or screened from public view.

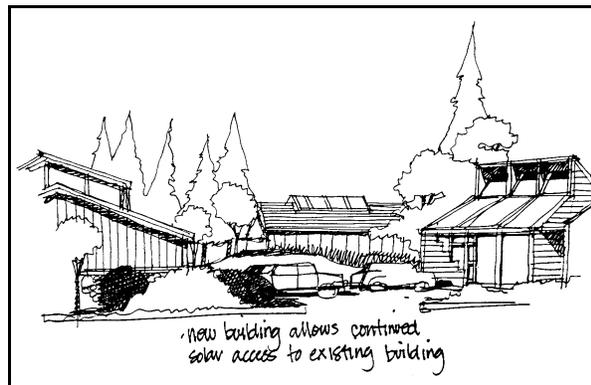


FIGURE 2-23
spaces. **SOLAR ACCESS**

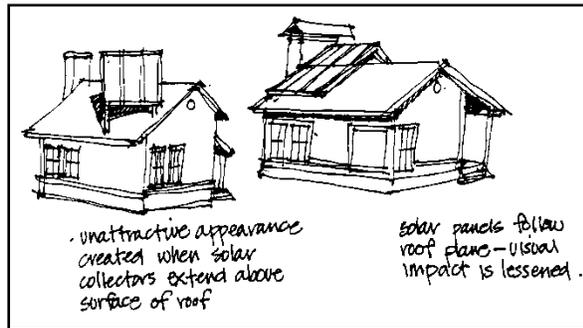
oriented to maximize solar access extent feasible.

be planned to maximize the number of south wall and roof area face within 45 degrees permitting the structures to receive cooling and any existing or proposed shading.

should be placed in the most inconspicuous operating efficiency of the collectors. Wall-mounted collectors should be screened from public view with material that is compatible with the building's architecture.

be installed at the same angle or as close as possible to the pitch of the roof.

7. Exterior surfaces of solar collectors and related equipment should have a matte finish and should be color coordinated to harmonize with roof materials and other dominant colors of the structure.
8. Skylights and solar panels should be installed as unobtrusively as possible. Skylights and solar panels should be designed to fit flush with the roof surface or up to a maximum of two feet above the surface of the roof. Reflective materials should not be used unless thoroughly shielded to prevent reflection onto adjoining or nearby properties.
9. Solar access should be considered for natural lighting and to avoid shading of pedestrian areas in order to help speed the melting of snow. The use of passive-solar design, solar panels including roof-mounted systems, and solar-powered systems (i.e. water heating, electricity, etc.) are encouraged.



**FIGURE 2-24
APPROPRIATE SOLAR PANEL
LOCATION**

18.24.080 – Landscaping and Hardscape Design Guidelines

Landscape and hardscape should enhance the character of new buildings, address the ever-changing Truckee climate, and facilitate low-impact development strategies. The following guidelines should be considered in conjunction with Chapter 18.40 (Landscaping Standards) and Chapter 18.42 (Landscape Design Guidelines).

A. General landscaping and hardscape design guidelines.

1. Landscaped areas should be planned as an integral part of the overall project and not simply located in “leftover” areas of the site.
2. Landscaping should be used to help define outdoor spaces including the public realm, to soften a structure's appearance and/or enhance architecture, and to screen parking, loading, storage and equipment areas.
3. The use of on-site pedestrian amenities (e.g., benches, shelters, drinking fountains, lighting and trash receptacles) is encouraged. These elements should be provided in conjunction with on-site open spaces and be integrated into the site plan as primary features.
4. Use decorative hardscape materials (i.e., pavers, colored or patterned concrete, raised planter boxes, etc.) where appropriate to enhance projects, identify primary pedestrian paths, seating areas, plazas and public spaces.

5. Integrate stormwater management into landscape and hardscape design early in the design process.

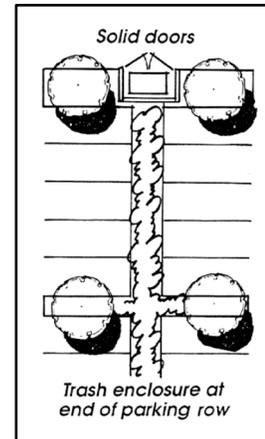
18.24.090 – Services and Utility Placement Design Guidelines

Service areas and public utilities should be located in a manner that does not interfere with the form of buildings or their landscape.

A. Services and utility placement.

1. Refuse, storage and equipment areas.

- a. Refuse containers, service areas, loading docks and similar facilities should be located in areas out of view from the general public and so that their use does not interfere with on-site parking or circulation areas and adjacent uses, especially residential uses. They should not block access to snow storage areas.
- b. Trash bins shall be fully enclosed in compliance with Section 18.30.150 (Solid Waste/Recyclable Materials Storage). Enclosures should be screened with landscaping on their most visible sides. Recommended locations include inside parking courts or at the end of parking bays. Locations should be conveniently accessible for trash collection and maintenance and should not block access driveway during loading operations.
- c. Trash storage areas that are visible from the upper stories of adjacent structures should include a roof cover to mitigate unsightly views. The covering structure should be compatible with the site's architectural style while still allowing for ease of use and service.
- d. Utility equipment (e.g., electric and gas meters, electrical panels and junction boxes) should be located in a utility room within the structure or enclosed utility cabinets at the rear of the structure.



**FIGURE 2-25
TRASH
ENCLOSURE
LOCATION**

2. Screening.

- a. Screening is a technique used to protect and separate uses and site functions from one another for the purpose of decreasing adverse noise, wind or visual impacts and to provide privacy. The need for screening should be considered early in the design process so that screening elements (e.g., walls, fences, berms, landscaping) can be effectively integrated into the overall project design and not added later as an afterthought.

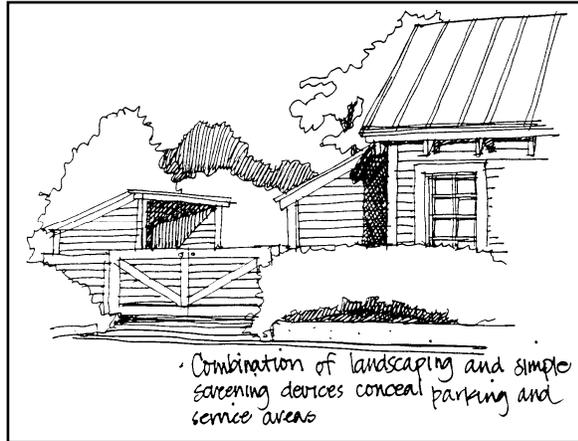


FIGURE 2-26
SCREENING SERVICE AREAS

- b. The method of screening should be compatible with the adjacent structure in terms of overall design, materials and color.
- c. Where screening is required at the ground level, a combination of elements should be considered including solid masonry walls, wood fences, berms and landscaping.
- d. All screening facilities should be of adequate size for their intended purpose without dominating the site, blocking sight distances, or creating unnecessary barriers.

- e. Mechanical equipment (e.g., compressors, air conditioners, pumps, heating and ventilating equipment, generators, satellite dishes, communications equipment) and any other type of mechanical equipment for the building should be concealed from view of public streets and neighboring properties. Utility meters and equipment should be placed in locations that are not exposed to view from the street. Screening devices shall be compatible with the architecture and color of the adjacent structures.

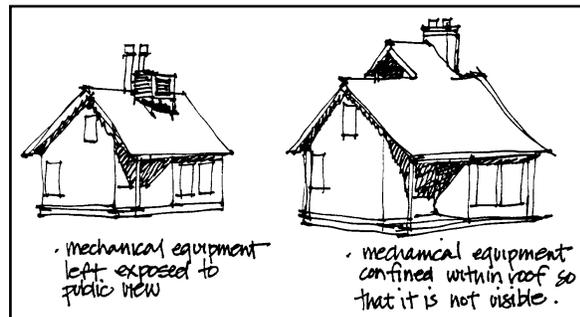


FIGURE 2-27
SCREENING OF ROOF-MOUNTED EQUIPMENT

- f. Mechanical equipment should not be located on the roof of a structure unless the equipment can be hidden by building elements that are an integral part of the building's design.
- g. All roof equipment shall be properly screened from public view, in compliance with Section 18.30.110 (Screening). Screening should be an integral part of the roof

design and not appear as a “tacked-on” afterthought. For flat roofs, a screen enclosure behind a parapet wall may be used if it is made to appear as an integral part of the structure’s design. Ground or interior-mounted mechanical equipment (with appropriate screening) is encouraged as an alternative to roof-mounting.

- h. Roof penetrations (e.g., plumbing and exhaust vents and air conditioning units) should be grouped together to minimize their visual impact. The roof design should help to screen or camouflage rooftop protrusions.
3. **Loading facilities.** Loading facilities should not be located at the front of buildings where they will be difficult to adequately screen from view. These facilities are more appropriate at the rear of the site where special screening may not be required.

18.24.100 – Fence and Wall Design Guidelines

Walls and fences are important components of urban design and perform numerous functions. They help delineate the boundaries of outdoor spaces and provide effective noise buffering and visual screening effects, as well as enhanced security. Walls and fences can serve as wind barriers to protect landscaping treatments, and can create and enhance a sense of privacy. Screening, fencing and walls should be designed in the same style, form and color as the connected buildings. Chain link, plastic or vinyl fencing materials are generally not appropriate.

A. Fence and wall design.

1. The design of fences and walls should harmonize with the site and with the buildings in both scale and materials. The placement of walls and fences should respect existing land forms and follow existing contours and fit into existing land masses rather than arbitrarily following site boundary lines. Fencing should not dominate the buildings or the landscape. Planting may often be integrated with fencing schemes to soften the visual impact. If the ground slopes, the fence should be stepped. Fencing materials should be compatible with the materials and color of surrounding buildings. Chain link, plywood, chain and bollard, and slump block fencing are generally undesirable, and their usage should only be considered on a case-by-case basis.
2. The design of each project should consider issues of icing and snow shedding and how these conditions may affect the placement of fences and walls. Fences and walls should be placed far enough from structures where snow shedding is likely to occur so that the fence or wall is not damaged by falling snow and so that snow and ice do not build up against them and possibly close off access through required yard areas.

18.24.110 - Design Guidelines for Specific Land Uses

The guidelines in this Section address design issues related to specific types of development which, by their nature, can present problematic design issues. These guidelines are intended to help improve the overall design quality of each specific use and to emphasize the unique characteristics of each use. These guidelines should be used in conjunction with other applicable guidelines in this Chapter.

A. Drive-through businesses. The major design issues related to these types of establishments are tendencies toward corporate or franchise architecture, the creation of efficient and well-organized vehicular access and on-site circulation, while adequately buffering adjacent uses.

1. Site organization.

a. The primary presence along the major street frontage should be the building, not the menu board, drive-through aisle or parking lot.

b. Drive-through aisles should provide adequate on-site queuing distance to accommodate five cars before the first stopping point (e.g. menu board). No portion of the queuing aisle should also serve as a parking aisle.

c. Pedestrian walkways should not intersect the drive-through drive aisle, except where they cannot be avoided. They should have minimum 15-foot clear visibility, and they should be emphasized by enriched paving.

d. Whenever physically possible, the main structure should be sited so as to maximize the distance for on-site vehicle queuing while screening the drive-through operations located on the back side of the structure.

e. Menu board speakers should be located so as to protect adjoining residential areas from excessive noise and should be located no closer than 10 feet to any property line.

2. Building design. All building elevations, whether they function as the front, side or rear of the building, should be architecturally detailed to avoid the appearance of the “back



**FIGURE 2-28
DRIVE-THROUGH DESIGN**

of the building.” Buildings should contribute a positive presence to the street scene. The use of franchise or corporate architecture is strongly discouraged.

B. Hotels and motels. Hotels and motels are quasi-residential uses and should be designed and sited to minimize the effect of noise from the I-80 freeway or Truckee’s arterial streets. Although they are quasi-residential, the scale and activities associated with hotels and motels often make them problematic neighbors for adjacent properties. Because hotel and motel architecture is often thematic, presenting a strong temptation to over design the building front and to neglect the other sides, it is important to remember that all sides of a building shall be stylistically consistent.

1. Site organization.

- a. The primary presence along the major street frontage should be the building and driveway approach, not the parking lot.
- b. No more than five short-term parking spaces should be provided near the office for check-ins.
- c. Exterior corridors on multi-level buildings are discouraged and should not be located near residential uses.
- d. Delivery and loading areas should not be located near residential uses.
- e. Mechanical equipment, including swimming pool equipment, should be located to ensure compliance with Chapter 18.44 (Noise).
- f. Recreational facilities (e.g., swimming pools) should be located where guests can use them in some privacy. They should not be exposed to public streets to function as advertising.
- g. Avoid locating driveway, garage ramps or loading and service areas where they interfere with the flow of pedestrian movement or impact the privacy of guest rooms.
- h. Utilize parking lots and open spaces on the site to help buffer the hotel/motel from any adjacent incompatible uses.

2. Building design.

- a. Noise attenuation techniques should be included in the design of buildings near major noise generators (e.g., major streets or the I-80 freeway).
- b. Air conditioning and heating units should not be visible from public streets. Avoid exterior units for each room.
- c. For structures over two stories, guest rooms should be accessible from hallways within the hotel. Room entrances that are directly adjacent to parking lots or exterior walkways are discouraged.

C. Industrial/business park uses. Industrial buildings are typically large utilitarian structures with little or no architectural interest. The following guidelines are intended to ensure attractive, well-designed structures while recognizing their basic industrial nature. Proper site planning and screening of work and storage areas are promoted over architectural design themes. The guidelines are intended to protect adjacent uses from objectionable views, excessive noise and similar impacts that are typically associated with industrial uses.

1. General design objectives.

- a. A variety of building and parking setbacks should be provided to avoid long monotonous building facades and to create diversity within the project.
- b. The main entrance of the building should be prominently located to ensure visibility from the nearest public right-of-way.
- c. Building setbacks should be provided proportionate to the scale of the structure and in consideration of existing adjacent development and the desired public realm for the area. Larger structures require more setback area for a balance of scale and so as not to impose on neighboring uses.
- d. Structures should be placed to create opportunities for plazas, courts or gardens. Setback areas should be considered for use as open space for patio areas.
- e. The main elements of quality business park/industrial site design that should be incorporated in new or changed projects include the following:
 - (1) Clustered buildings to facilitate shared infrastructure;
 - (2) Well-screened or hidden service areas located at the sides or rear of buildings;
 - (3) Convenient access, visitor parking and on-site circulation;
 - (4) Screened outdoor storage, work areas and equipment;
 - (5) Prominent building entries and enhanced landscaping;
 - (6) Placement of buildings to provide plazas and courtyards; and
 - (7) Landscaped open space.

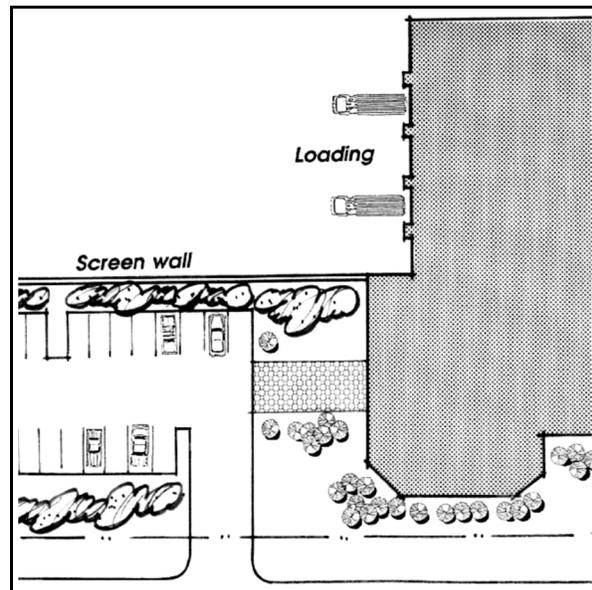
2. Parking and circulation.

- a. Parking lots should not be the dominant visual elements of the site. Large expansive paved areas located between the street and the building are to be avoided in favor of smaller multiple lots separated by landscaping and buildings. Parking should be located to the sides and rear of buildings whenever possible.

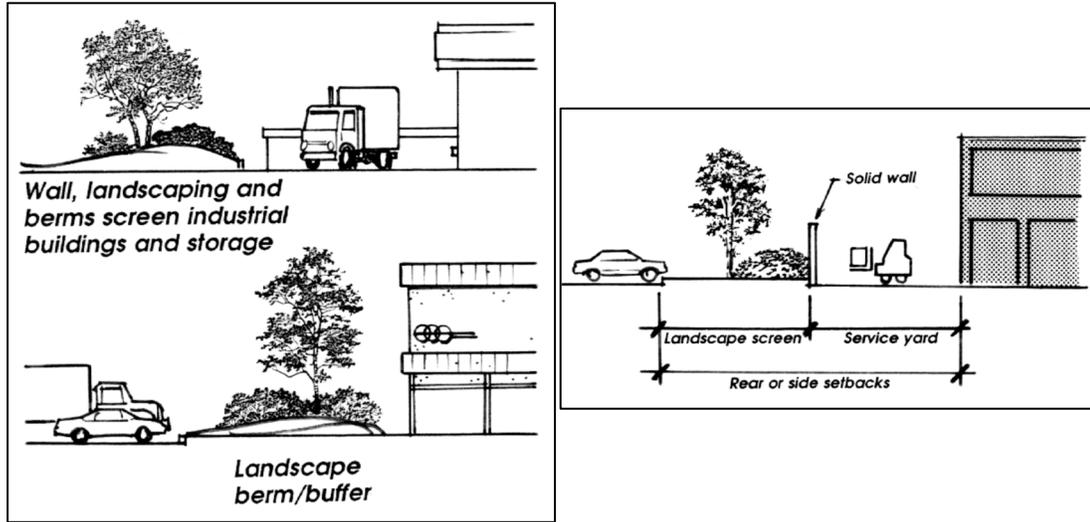
- b. Site access and internal circulation should be designed in a straightforward manner which emphasizes safety and efficiency. The circulation system should be designed to reduce conflicts between vehicular and pedestrian traffic. Truck maneuvering areas should be separated from parking areas.
- c. Entrances and exits to and from parking and loading facilities should be clearly marked with appropriate directional signage where multiple access points are provided.
- d. Parking lots adjacent to and visible from public streets must be adequately screened from view through changes in elevation, landscaping or combinations thereof.

3. Loading facilities.

- a. To alleviate the unsightly appearance of loading facilities for industrial uses, these areas should not be located at the front of buildings where it is difficult to adequately screen them from view. Loading facilities are more appropriate at the rear of the building where special screening may not be required.
- b. When it is not possible to locate loading facilities at the rear of the building because of circumstances unique to the site, loading docks and doors may be located at the side of the building but must be screened from view by a combination of screen walls, ornamental landscaping and/or portions of the building. Gates should be located so as not to allow views from the public right-of-way into loading areas.
- c. Backing from the public street onto the site for loading causes unsafe truck maneuvering and shall not be utilized except at the ends of industrial cul-de-sacs where each circumstance will be considered on a case-by-case basis.



**FIGURE 2-29
LOCATION OF LOADING AREAS**



**FIGURE 2-30
SCREENING OF LOADING AREAS**

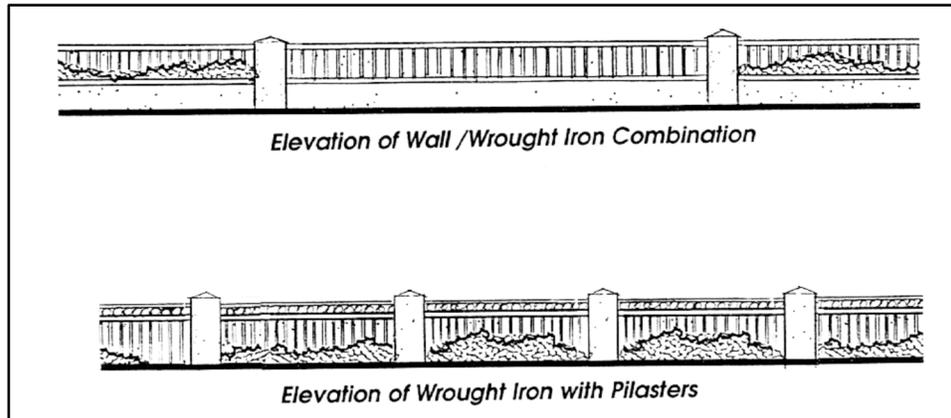
4. Landscaping.

- a. Landscaping should be used to define entrances to buildings and parking lots, define the edges of various land uses, provide transition between neighboring properties (buffering) and provide screening for outdoor storage, loading and equipment areas.
- b. Landscaping around the entire base of buildings is recommended to soften the edge between the parking lot and the structure. Landscaping should be accented at building entrances to provide focus.
- c. Earth berms can be used at the edge of the building in conjunction with landscaping to reduce the apparent height of the structure, especially along street frontages.
- d. Landscape design and materials should enhance and be compatible with the existing vegetation. Use of native, drought-tolerant plant materials is highly desired. Also see Chapter 18.40 (Landscape Standards) and Chapter 18.42 (Landscape Design Guidelines).

5. Walls and fences.

- a. If walls are not required for a specific screening or security purpose, they should not be used. Where they are required, they should be kept as low as possible while still performing their screening and security functions.
- b. Where walls are used at property frontages, or screen walls are used to conceal storage and equipment areas, they should be designed to blend with the site's architecture. Landscaping should be used in combination with walls, especially along the street frontage to soften the design.

- c. Long expanses of fence or wall surfaces along the street frontage should be offset and architecturally designed to prevent monotony. Landscape pockets should be provided along the wall at minimum intervals of 40 feet.



**FIGURE 2-31
WALL DESIGN**

- d. When security fencing is required across a property frontage, it should be a combination of solid pillars, or short solid wall segments, and wrought iron grill work, board formed concrete, stone or other material consistent with Truckee Funk.

6. Screening.

- a. Exterior storage and loading areas should be confined to portions of the site least visible to public view where screening may not be required.
- b. Where screening is required, a combination of elements should be used including solid masonry walls, berms and landscaping. Vinyl-coated chain link fencing with wood, vinyl plastic or metal slatting is an acceptable screening material only for areas not visible from a public street or parking lot.
- c. All equipment, whether on the roof, side of building or ground, shall be properly screened in compliance with Section 18.30.100.A.2 (Screening).

7. Architectural design guidelines.

- a. **Architectural style.** The architectural style of buildings in the business park/industrial category should incorporate clean simple lines. Buildings should project an image of high quality through the use of appropriate durable materials and well-landscaped settings. Also see Section 18.24.040 (General Design Guidelines).

a. Expression of structure.

As a category of structure type, industrial buildings often present unattractive, unadorned forms. To avoid overly simplistic, bland design, demonstrate expression through the following:

- (1) Long, “unarticulated” facades should be avoided. Facades with varied front setbacks and recessed entries are strongly encouraged.
- (2) Avoid blank front and side wall elevations on street frontages.
- (3) Entries to structures should portray a quality office appearance while being architecturally tied into the overall building composition and scale.
- (4) Alteration of colors and textures should be used to produce diversity and enhance architectural forms. Avoid the use of color change in place of architectural detailing.
- (5) A compatible variety of siding materials (i.e., metal, masonry, concrete, cement or wood) should be used to produce effects of texture and relief that provide architectural interest. Avoid incorporating too many materials and colors on a single-wall plane, particularly where there is not a logical transition in the architectural design.

DO THIS:

Larger buildings such as this research and development building can be broken up through the use of varied building heights and roof orientation.

**FIGURE 2-32
BUILDING ARTICULATION**

- c. Undesirable elements.**
Design elements which are undesirable and should be avoided include:

- (1) Large blank, unarticulated wall surfaces;
- (2) Exposed, untreated precision block walls;
- (3) False fronts;
- (4) “Stuck on” mansard roofs;
- (5) Residential architecture;
- (6) Mirror window glazing; and
- (7) Loading doors facing the street.

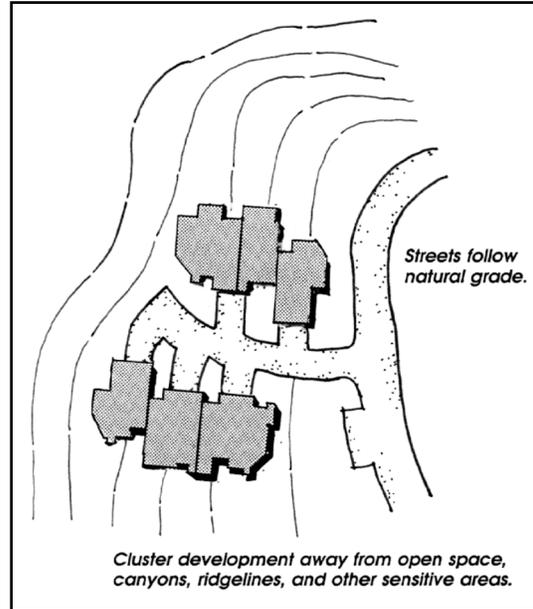
8. Metal buildings.

- a. All prefabricated metal buildings should be designed to have architectural interest, and articulation as is encouraged with conventionally built structures. In addition to architectural metal panels, exterior surfaces should include either stone, brick, wood or decorative masonry. Stock, “off-the-shelf” metal buildings are strongly discouraged as main structures.
- b. Metal buildings should employ a variety of building forms, shapes, colors, materials and other architectural treatments to add visual interest and variety to the building. Architectural treatments should emphasize the primary entrance to the building. Use of wood siding or other texturally-contrasting wall materials on entries, additions or customer-service areas is encouraged.
- c. Exterior surfaces that have the potential of being contacted by vehicles or machinery should be protected by the use of landscaped areas, raised concrete curbs, and/or traffic barriers. The use of stand-alone safety bollards should be minimized.

- D. Multi-family residential.** The densities of multi-family housing tend to create large parking areas, less private open space than is found in single-family areas, and long box-like structures. Parking facilities can dominate the site if not properly designed, and open spaces may be relegated to leftover areas not related to the structures or the people who live there. Residential developments with unarticulated walls and roofs surrounded by parking lots and rows of carports along public streets are examples of practices that should be avoided.

1. Site organization.

- a. The clustering of units should be a consistent site planning element. Projects containing more than 10 dwelling units should be broken up into groups of structures that are appropriate in scale and compatible with the neighborhood.
- b. Buildings should be oriented in random positions to avoid instances where living spaces of one structure face the living spaces of another and significantly reduce indoor privacy.
- c. Buildings should be oriented to create courtyards and common open space areas, thus increasing the aesthetic appeal of the development.



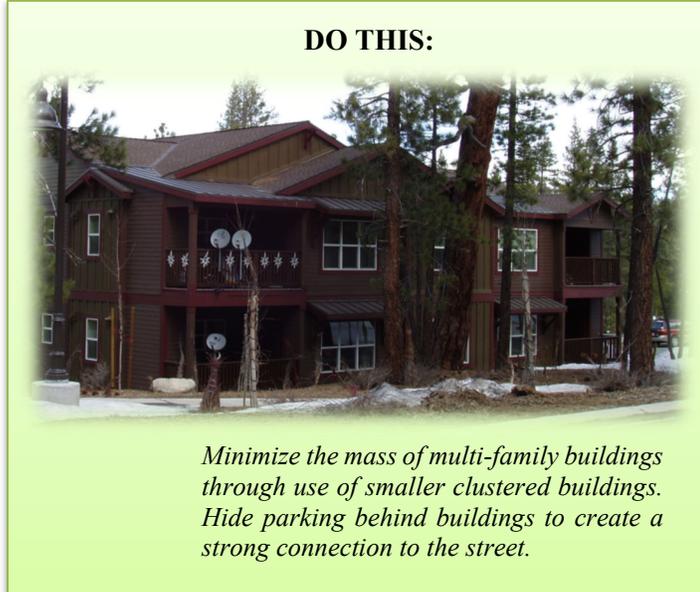
**FIGURE-2-33
CLUSTERING EXAMPLE**

DO THIS:	NOT THIS:
<p>Common open space</p> <p>Siting of Recreation Area Close to Project Entrance</p> <p>Special Entry Landscaping</p> <p>Special Paving</p>	
<p><i>Cluster buildings to create neighborhoods with strong aesthetic appeal.</i></p>	<p><i>This development reinforces monotony in site and building design, both of which are strongly discouraged.</i></p>

**FIGURE 2-34
MULTI-FAMILY DESIGN**

2. Building design.

- a. There is no specific architectural “style” proposed for multi-family/cluster residential structures. The primary focus should be on constructing a high-quality residential environment. The criteria presented here strives for this “quality” through descriptions and examples of appropriate building materials and architectural expression. Also see Section 18.24.040 (General Design Guidelines).



**FIGURE 2-35
ENCOURAGED
MULTI-FAMILY BUILDING DESIGN**

- b. Separations, changes in wall plane and height, and the inclusion of elements including balconies, porches, arcades, dormers and cross gables mitigate the “barracks-like” quality of flat walls and roofs of excessive length. Secondary hipped or gabled roofs covering the entire mass of a building are preferable to mansard roofs or pitched roof segments applied at the structure’s edge.
- c. Structures containing three or more attached dwellings in a row should incorporate at least one of the following:

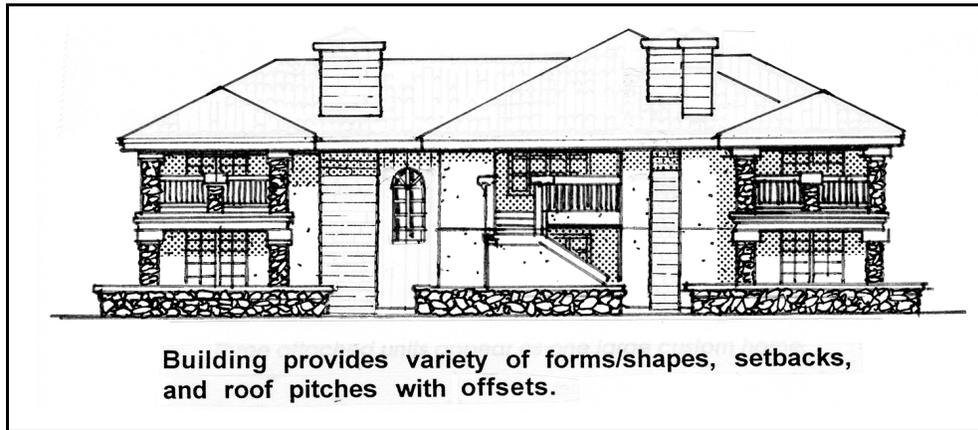


**FIGURE 2-36
DISCOURAGED
MULTI-FAMILY BUILDING DESIGN**

- (1) For each dwelling unit, at least one architectural projection not less than two feet from the wall plane and not less than four feet wide should be provided. Projections should extend the full height of single-story structures, at least

one-half the height of a two-story building, and two-thirds the height of a three-story building; or

- (2) A change in wall plane of at least three feet for at least 12 feet for each two units should be provided.
- (3) Multi-family residential projects with five or more dwelling units should include a variety of building rhythms among buildings to avoid architectural monotony and repetition throughout the development.

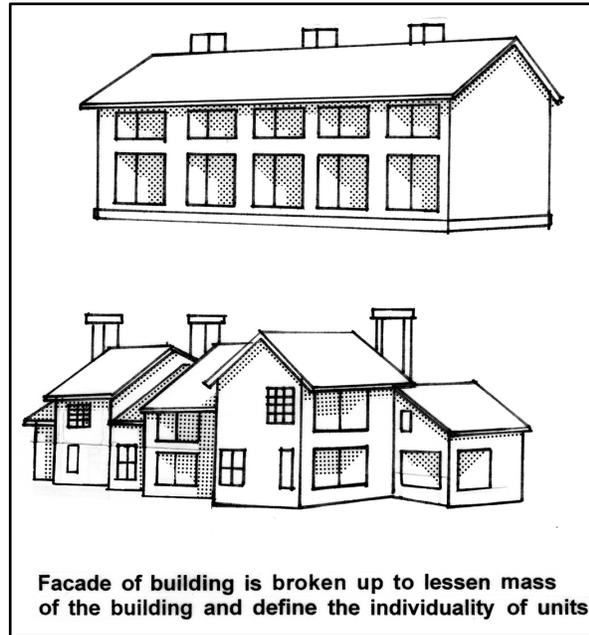


**FIGURE 2-37
BUILDING ARTICULATION**



**FIGURE 2-38
VARIETY IN BUILDING RHYTHM**

- c. Because multi-family residential projects are usually taller than one story, their bulk can impose on surrounding uses. The scale of these projects should be considered within the context of their surroundings. Structures with greater height may require additional setbacks so as not to dominate the character of the neighborhood. Large projects should be broken up into groups of structures. The use of single “megastructures” is to be avoided.



**FIGURE 2-39
BREAKING UP BUILDING MASS**

- d. The use of functional balconies, porches and patios is encouraged for both practical and aesthetic values. These elements should be integrated into structures to break up large wall masses, offset floor setbacks, and add human scale to structures. Design should be simple and straightforward.
- e. The use of long, monotonous access balconies and corridors which provide access to five or more units should be avoided. Instead, access points to units should be clustered in groups of four or less. The use of distinctive architectural elements and materials to denote prominent entrances is encouraged.
- f. Simple, clean, bold projections of stairways are encouraged to complement the architectural massing and form of the structure. Thin-looking, open metal, prefabricated stairs are discouraged.
- g. Support structures (e.g. laundry facilities, recreation buildings and sales/lease offices) should be consistent with the architectural design of the rest of the complex.
- h. For projects with multiple structures, reduce architectural monotony within a project through use of more than one building design, variations in architectural details, color, material, etc.

3. Parking and circulation.

- a. Project entry areas should provide the resident and visitor with an overview of the project. They should provide an open window with landscaping, recreational facilities and project directories. Special attention should be given to hardscape and landscape treatments to enhance the overall image of the project.

- b. The principal vehicular access should be through an entry drive rather than a parking drive. Colored, textured paving treatment at entry drives is encouraged.
- c. There are generally three means of accommodating parking: parking driveways, parking courts and garages within residential buildings. Projects with either long, monotonous parking drives or large, undivided parking lots are not desired. If parking within residential structures is not provided, dispersed parking courts are the desired alternative.
- d. Parking areas should be visible from the residential units which use them to the greatest degree possible.
- e. A parking court should not consist of more than two double-loaded parking aisles (bays) adjacent to each other. The length of a parking court should not exceed 14 stalls.
- f. Parking courts should be separated from each other by dwelling units or by a landscaped buffer not less than 30 feet wide. Each 10 spaces of parking, whether in garages, carports or open parking areas, should be separated from additional spaces by a landscaped bulb not less than 10 feet wide. Architectural elements (e.g., trellises, porches or stairways) may extend into these landscaped bulbs.
- g. Parking areas tucked under residential structures should be enclosed behind garage doors. Garages with parking aprons less than 20 feet in length should be equipped with automatic door openers and roll-up doors.
- h. Where carports are utilized, they must follow the same spacing criteria as parking courts. Carports may be incorporated, with patio walls or used to define public and private open space, but incorporating carports into exterior project walls adjacent to streets is strongly discouraged. The ends of each cluster of carports should be concealed with low walls and landscaping.

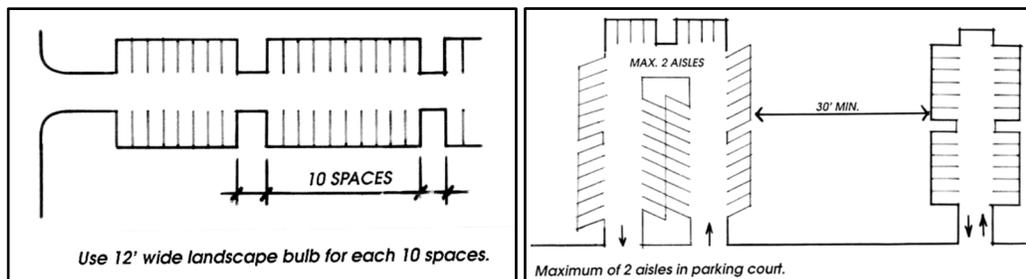


FIGURE 2-40
BREAKING UP BUILDING MASS

- i. Carports and detached garages should be designed as an integral part of the overall project. They should be similar in material, color and detail to the principal

structures. Due to snow loads, carports should not utilize flat roofs. Prefabricated metal carports shall be prohibited.

4. Open space areas.

- a. The design and orientation of active open space areas (e.g., children’s play areas, barbecue area, sports or pool area) should take advantage of available sunlight and should be sheltered from the noise and traffic of adjacent streets or other incompatible uses.
- b. Common open spaces should be conveniently located for the majority of units. Children’s play areas should be visible from as many units as possible. In complexes with more than 40 two-bedroom units, several play areas should be provided throughout the complex.

E. Commercial centers. Commercial centers are typified by the grocery store/drug store anchor with a series of smaller shops. They may also have one or more freestanding building sites. Because they are usually located in or next to residential areas, the major design issue is the interface between the center’s service activities and adjacent residences.

1. Site organization. Buildings should have a strong spatial and functional relationship to each other.

- a. Shopping centers should be divided into multiple buildings, and buildings should be clustered to achieve a “village” scale. This creates opportunities for plazas and pedestrian areas while preventing long “barracks-like” rows of buildings.
- b. Shopping centers should be designed to locate a minimum of 50 percent of the total building frontage (including pad buildings) at the front setback line. This siting, together with substantial landscaping treatment, reinforces and strengthens the overall streetscape and public realm, and helps to screen off-street parking areas.
- c. The location of open space areas should be accessible from the majority of structures, and should be oriented to take advantage of solar access.
- d. Loading facilities should not be located at the front of buildings where they will be difficult to adequately screen from view. These facilities are more appropriate at the rear of the site where special screening may not be required.

2. Building design.

- a. An “extruded” appearance should be avoided in the design of long linear buildings. Where long buildings are unavoidable, their linearity should be mitigated by changes in building height, wall plane, spatial volumes, and by varied use of window areas, arcades, materials and roof elements.
- b. Buildings adjacent to and visible from residential properties should be stylistically consistent with the more public portions of the buildings. Building scale should be

decreased adjacent to residential uses by reducing wall height, articulating wall and roof planes, and generating strong shadows.

- c. Large blank building walls and loading areas that disrupt the continuity of pedestrian-oriented shops should be avoided.

F. Office buildings. Office buildings have functional characteristics that result in physical forms different from other development: (1) their intensity of use is lower, (2) buildings are typically “live” on all four sides, (3) office activities are not limited to the first floor, (4) building perimeters have fewer entries and windows and thus have more opportunity for landscaping, and (5) the occupation of office buildings is more predictable.

Because of their use patterns, there are more opportunities to locate office buildings toward the street with parking behind or to the side. This arrangement is strongly encouraged even where the existing pattern is not an established one.

1. Site organization.

- a. Buildings should be placed at the minimum required front setback with parking located at the rear of the site or at the side of the building.
- b. Multi-story buildings should not be placed adjacent to the private open space of residential units.
- c. A series of smaller office buildings linked by a plaza system is encouraged over a single large structure.
- d. Buildings should have their primary entry from the public street with secondary entries from on-site pedestrian paths or parking areas.

2. Building design.

- a. Long unadorned wall planes should be avoided. As a general principle, building surfaces over two stories high or 100 feet in length should be relieved with a change of wall plane that provides strong shadow and visual interest.



**FIGURE 2-41
OFFICE BUILDING DESIGN**

- b. The ground floor pedestrian where pedestrian of larger office buildings should include elements of interest including retail businesses and food services traffic is high and these uses are allowed.
- c. Clear glass (at ground floor potential for occupancies. least 88 percent light transmission) should be used for windows where pedestrians are present and there is a retail businesses, food services or other service
- d. Building entries entry” for the weather. should be prominent and should afford a “sense of structure. Entries should be protected from inclement

G. Permanent outdoor sales and display. The design issues associated with permanent outdoor sales and display areas are quality of fencing material, internal organization and lack of quality paving materials. Also see Section 18.58.190 (Outdoor Uses).

1. Site organization.

- a. The permanent outdoor sales and display area should be organized, visually attractive and located near the building entrance.

2. Screening/security.

- a. Chain-link fences are strongly discouraged as screening and security devices.
- b. Barbed wire or razor wire is discouraged.

- c. For permanent outdoor sales and display areas, appropriate fencing materials include wrought iron pickets or wood slats/pickets.
 - 3. **Paving.** Paving material shall be permanent. Use of decorative paving materials within the display area is encouraged.
- H. **Service stations and car washes.** Service stations and car washes are intensive uses that are characterized by large areas of paving which permit vehicles to maneuver freely and have the potential to create significant adverse impacts for adjoining streets and properties. Service stations, in particular, have historically enjoyed several points of access from adjacent streets to maximize maneuvering flexibility for vehicles. When weighed against the safety risk inherent in multiple driveways and the negative environmental and visual impacts of large areas of asphalt, fully flexible circulation clearly can no longer be accommodated. Driveway cuts need to be limited, circulation needs to be channeled, and paved areas reduced.
 - 1. **Site organization.**
 - a. Structures on the site should be spatially related; buildings should be organized into a simple cluster.
 - b. The site should be designed to accommodate all legitimate, anticipated circulation patterns, but those patterns should be defined by reduced areas of paving and well-placed landscaped areas. Driveway cuts should be limited to one, occasionally two per street.
 - c. Service bays should not face residential properties and should avoid facing any major commercial thoroughfare.
 - 2. **Building design.**
 - a. All structures on the site (including kiosks, car wash buildings, gas pump columns, etc.) should be architecturally consistent with the main structure and consistent with Section 18.24.050 (Building Characteristic Design Guidelines) and Section 18.24.060 (Site Design Characteristics).
 - b. All building elevations facing public streets, whether these elevations function as the front, side or rear of the building, should be architecturally detailed to avoid the appearance of the “back of the building.” Buildings should provide a positive presence to the street scene.
 - c. Building materials should have the appearance of substance and permanency. Lightweight metal or other temporary-appearing structures are not appropriate.
 - 3. **Special requirements.**
 - a. Car wash facilities should include appropriate noise control measures to reduce machinery and blower noise levels.

- b. Areas should be provided on self-service station sites to allow patrons to service their vehicles with water and air. These facilities should be located where they do not obstruct the circulation patterns of the site.
- c. On automatic car wash sites, facilities should be provided for vacuuming of vehicles and for drying of vehicles upon exiting the car wash building. These areas should be carefully located to avoid obstructing legitimate circulation.
- d. Each pump island should generally include stacking for a minimum two vehicles (40 feet) on site so that driveways or the street are not utilized for waiting customers.
- e. Truck circulation patterns and positions for tank filling should not conflict with customer circulation patterns or cause a potential for stacking overflow onto a street.

CHAPTER 18.26 - HISTORIC PRESERVATION DESIGN GUIDELINES

Sections:

18.26.010 - Purpose of Chapter

18.26.020 - Applicability

18.26.010 - Purpose of Chapter

The Historic Preservation Overlay District Design Guidelines are provided in Volume III of the Downtown Specific Plan and are intended as a guide to assist property owners and project designer in understanding the Town's goals for attaining high-quality development that is sensitive to and compatible with the historic character of the Downtown area. The guidelines will be used as criteria against which to review projects in the -HP overlay district.

18.26.020 - Applicability

- A. The provisions of this Chapter and the Historic Preservation Overlay District Design Guidelines shall apply to all projects (additions, modifications, alterations, rehabilitation, reconstruction, relocation or new construction), including single-family dwellings and accessory structures and projects that do not require a building permit, in the -HP overlay district. The design elements of each project (including site design, architecture, landscaping, signs and parking design) will be reviewed on a comprehensive basis. Design guidelines in other chapters of this Development Code (general design guidelines, specific design guidelines, signs, landscaping, parking) shall also be addressed whenever applicable. Where these other chapters are particularly applicable, they have been cross-referenced in the Historic Preservation Overlay District Design Guidelines.
- B. The review authority may interpret the Historic Preservation Overlay District Design Guidelines with some flexibility in their application to specific projects as not all design criteria may be workable/appropriate for each project. In some circumstances, one guideline may be relaxed to facilitate compliance with another guideline determined by the review authority to be more important in the particular case. In any instance, such determinations shall be made by the review authority on a case-by-case basis. The overall objective is to ensure that the intent and spirit of the Historic Preservation Overlay District Design Guidelines are followed.

